

1. Agenda

Documents:

[APRIL\\_15\\_2020\\_PB\\_VIRTUAL\\_SPECIAL\\_MEETING.PDF](#)

2. Meeting Materials

Documents:

[3971 SITE PLAN 2020-03-27 \[SIXTH STREET\].PDF](#)

[3971 SITE PLAN 2020-03-27 \[WALL STREET\].PDF](#)

[BL5000 L1.PDF](#)

[BL5000.01 L1.PDF](#)

[SIXTH STREET APPLICATION.DOCX](#)

[SUBDIVISION E-SIZE \(1\).PDF](#)

[SUBDIVISION E-SIZE \(2\).PDF](#)

[WALL STREET APPLICATION.DOCX](#)

# CITY OF PASSAIC PLANNING BOARD

## AGENDA

The Planning Board will hold a special meeting virtually on **Wednesday, April 15<sup>th</sup>, 2020** at 6:30 p.m. via ZOOM:

<https://us04web.zoom.us/j/457291308?pwd=aGlGNzZFSWkyYkFocXlnVVZpT1lCZz09>

**Meeting ID: 457 291 308**

**Password: 978178**

### One tap mobile

+16465588656,,457291308# US (New York)

### Dial by your location

+1 646 558 8656 US (New York)

**Meeting ID: 457 291 308**

**Find your local number:** <https://us04web.zoom.us/u/f89fe3eoT>

to consider the following:

**1. Docket #PB20-06- Sixth Street, Passaic Street & South Street, Block #5000.02, Lot #1 in the CR-HD Zone District**, applicant Passaic Street Properties LLC is requesting preliminary & final site plan approval for the proposed development of a mixed used property consisting of commercial property fronting Passaic Street, and 208 residential units located in four (4) separate buildings. Building #1 fronting Passaic Street will have 52 residential units in a five (5) story building (ground floor being commercial units & parking and floors 2-5 residential units). Buildings #2-4 all located parallel to Building #1, and parallel to each other, will each have 52 residential units in five (5) story buildings (ground floor being commercial units & parking and floors 2-5 residential units). This property will have excess parking which will support a separate application by the applicant (PB20-07). This application will require variances for side yard setback on Sixth Street, rear yard setback along South Street, parking stall size and parking aisle width and any other variances and/or waivers that may be required. This property was named an area of need of Redevelopment. **FIRST APPEARANCE.**

**2. Docket #PB20-07- Wall Street &, Block #5000, Lot #1 in the CR-HD Zone District**, applicant Passaic Street Properties LLC is requesting Subdivision Approval and preliminary & final site plan approval. The applicant proposes to develop proposed lot 26 block 1017 (post subdivision) with a five (5) story multi-family structure which will consist of a total of thirty-six (36) residential units (12 one (1) bedroom units and 24 two (2) bedroom units) to be located on the 2<sup>nd</sup> thru 5<sup>th</sup> floor. The first/ground floor will contain a maintenance garage that will house maintenance equipment for the property and a lobby for the residential units. Applicant is also requesting a minor subdivision of Block 5000 Lot 1, which will allow a portion to be developed as noted above and the balance to be sold to the "City". This application will require a parking variance which will be satisfied with excess parking in the previous application PB20-07 and any other variances and/or waivers that may be required. This property was named an area of need of Redevelopment. **FIRST APPEARANCE.**

### MINUTES FOR APPROVAL:

**3. March 4<sup>th</sup>, 2020**

A copy of said applications and documents are on file with the Administrative Officer, Municipal Land Use Law, Passaic City Hall, Room 205, 330 Passaic Street, Passaic, NJ. Any interested party may inspect these records during normal business hours. Please call 973-859-1344 to schedule an inspection.

**Miriam R. Perez**

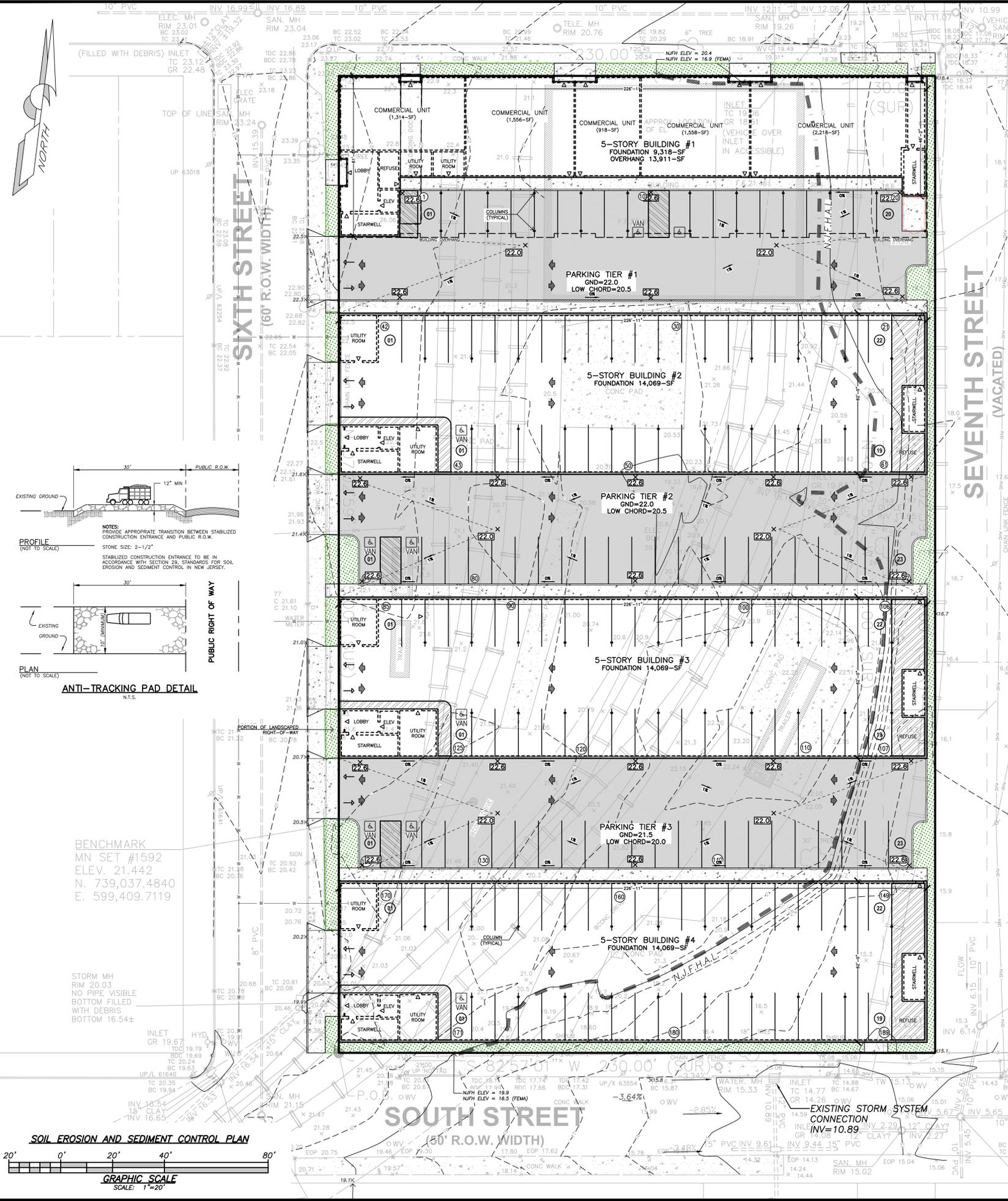
**Board Secretary**

**Municipal Land Use Law**









**SEEDING NOTES**

1. TOPSOIL STOCKPILE PROTECTION
  1. CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
  2. APPLY LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
  3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
  4. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
  5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F.
2. TEMPORARY STABILIZATION SPECIFICATIONS
  1. APPLY TOPSOIL TO A DEPTH OF 4".
  2. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F. AND WORK INTO SOIL 4" DEEP.
  3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
  4. APPLY PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE OR A PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE OR A PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE.
  5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  6. PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCT 1, IF POSSIBLE.
3. PERMANENT STABILIZATION SPECIFICATIONS
  1. APPLY TOPSOIL TO A DEPTH OF 4".
  2. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
  3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
  4. APPLY SEED MIXTURE:
    - PERENNIAL RYEGRASS AT 10 LBS/ACRE, KENTUCKY BLUEGRASS AT 25 LBS/ACRE, RED FESCUE AT 15 LBS/ACRE, AND SPREADING FESCUE AT 15 LBS/ACRE OR APPROVAL EQUAL.
  5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  6. ANCHOR MULCH WITH EMULSIFIED ASPHALT (SS-1) APPLIED AT A RATE OF 1 GAL/1000 S.F. OTHER APPROVED METHODS (I.E. PEG AND TWINE, OR MULCH NETTING) MAY BE USED. IF POSSIBLE, PLANT BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1.

**DUST CONTROL NOTES:**

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)
  - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL EROSION STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
  - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP FERTILIZER OFF THESE AREAS.
- TABLE 16: DUST CONTROL MATERIALS**
- | MATERIAL   | WATER DILUTION | TYPE OF NOZZLE  | APPLY GALLONS / ACRE |
|--|----------------|---|----------------------|
| ANIONIC ASPHALT EMULSION   | 7:1            | COARSE SPRAY  | 1200                 |
| LATEX EMULSION   | 12.5:1         | FINE SPRAY  | 235                  |
| RESIN IN WATER   | 4:1            | FINE SPRAY  | 300                  |
| POLYACRYLAMIDE (PAM) - SEDIMENT BASINS TO POLYACRYLAMIDE (PAM) - COLLOIDS. |                | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. SPRAY ON MAY ALSO BE USED AS AN ADDITIVE TO |                      |
| ACCUPLATED SOY BEAN SOAP STOCK   | NONE           | COARSE SPRAY  | 1200                 |
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLOS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- SIDE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- (STANDARDS FOR SEK SC IN NJ, 16-01, JULY, 1999.)

**SOIL COMPACTION EXEMPTION NOTE:**

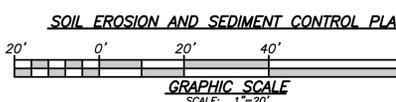
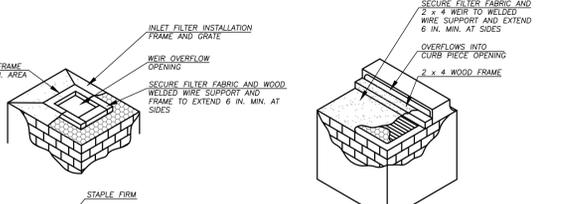
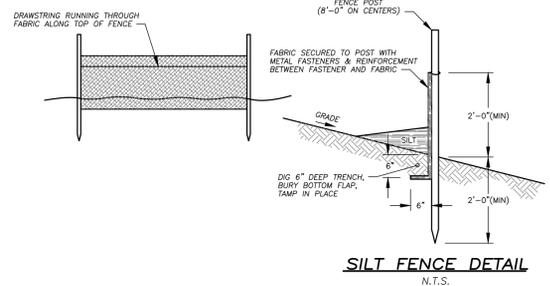
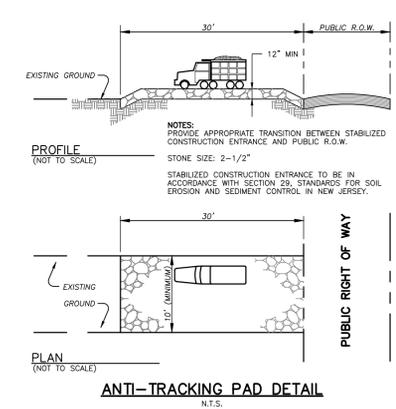
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODED VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON-WOODED VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NUDEP AS "PREVIOUSLY DEVELOPED".

**HUDSON-ESSEX PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY COVERED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSDC: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1.
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRASS STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION. GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.
16. PER THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) GIS DATA SET:
  - h4bb = HASBROUCK SILT LOAM, 0 TO 8 PERCENT SLOPES/VERY STONY (H2-0)
  - USONB = URBAN LAND-BOONTON COMPLEX, 0 TO 8 PERCENT SLOPES (H2-C)
17. AREA OF DISTURBANCE = 250,100 SF OR 5.74 ACRES.

**SEQUENCE OF CONSTRUCTION**

1. INSTALL EROSION CONTROL DEVICES INCLUDING SILT FENCE AND ANTI-TRACKING PAD. (1 DAY)
  2. REMOVE EXISTING SITE IMPROVEMENTS AS NEEDED (2 WEEKS)
  3. ROUGH GRADE SITE (2 WEEKS)
  4. INSTALL PROPOSED UTILITIES, INCLUDING STORM WATER MANAGEMENT SYSTEM (2 MONTHS)
  5. BEGIN BUILDING CONSTRUCTION WITH ALL UTILITY CONNECTIONS. (9 MONTHS)
  6. CONSTRUCT FINAL GRADING OF SITE, INSTALL LANDSCAPING AND FINAL STABILIZATION OF LAWN AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM OF FOUR (4) INCHES. (5 DAYS)
  7. PERMANENTLY STABILIZE ALL DISTURBED AREAS AND REMOVE ALL SOIL EROSION CONTROL DEVICES AS FINAL ITEM. (1 DAY)
- TENTATIVE START DATE FOR CONSTRUCTION: JUNE 2020



**THE STATION AT PASSAIC**  
BLOCK 5000.02 - LOT 1  
CITY OF PASSAIC  
PASSAIC COUNTY, NEW JERSEY

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

Project No. 3971  
Date: 03/27/20  
Scale: 1"=20'

**REVISIONS**

NO.	DATE	DESCRIPTION

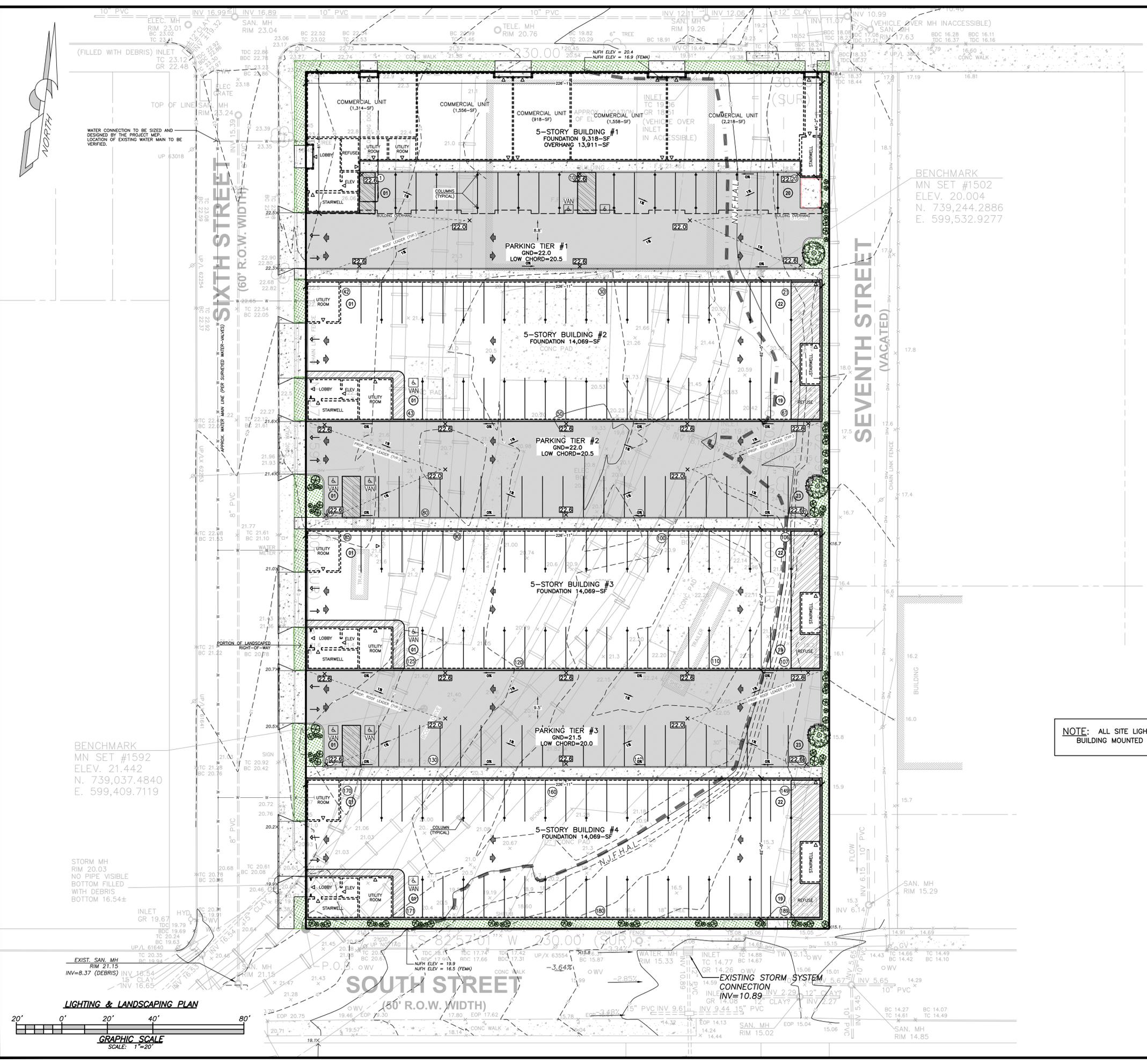
**MOB ENGINEERING ASSOCIATES, LLC**  
P.O. BOX 588, 11 FURLER STREET  
TOWANA, NEW JERSEY 07051-0588  
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881  
Email: mob@mobeng.com Website: www.mobeng.com

**MATTHEW G. CLARK**  
Professional Engineer License No. 35099  
Civil Engineering  
1000 W. STATE ST., SUITE 200, TOWANA, NJ 07051

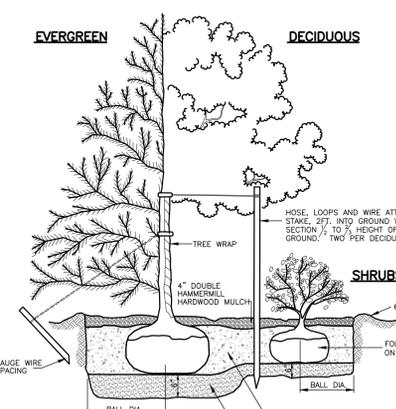
**PATRICK D. McLELLAN**  
Professional Engineer License No. 35099  
Civil Engineering  
1000 W. STATE ST., SUITE 200, TOWANA, NJ 07051

**4 OF 15**

MOBA File Number 3971

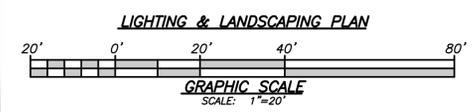


- ### GENERAL NOTES / REFERENCES
- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAC STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
  - BOUNDARY, TOPOGRAPHIC AND PLANNIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAC, PASSAC COUNTY, N.J. BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANNIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAC, PASSAC COUNTY, NEW JERSEY TAX BLOCK/LOT 5000/1" BY BEGAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
  - PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAC STREET & SIXTH STREET PASSAC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION.
  - HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
  - ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
  - ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
  - ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
  - THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FPF) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
  - ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
  - UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
  - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
  - ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
  - THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
  - FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
  - PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER GRADE TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
  - TBYV = TO BE FIELD VERIFIED.
  - ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAC SPECIFICATIONS AND STANDARDS.
  - LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.



PLANTING DETAIL (NOT TO SCALE)

NOTE: ALL SITE LIGHT TO BE BUILDING MOUNTED LIGHTS.



THE STATION AT PASSAC  
BLOCK 5000.02 - LOT 1  
CITY OF PASSAC  
PASSAC COUNTY, NEW JERSEY

drawing no. 5 of 15

PROJECT NO. 3971

DATE 03/27/20

SCALE 1"=20'

DESIGNED BY PLH

CHECKED BY PDMC

PROJECT NAME LIGHTING & LANDSCAPING PLAN

REVISIONS

DATE

REVISIONS

PROJECT NO. 3971

DATE 03/27/20

DESIGNED BY PLH

CHECKED BY PDMC

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CHECKED BY PDMC

PROJECT NAME LIGHTING & LANDSCAPING PLAN

REVISIONS

DATE

REVISIONS

PROJECT NO. 3971

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REVISIONS

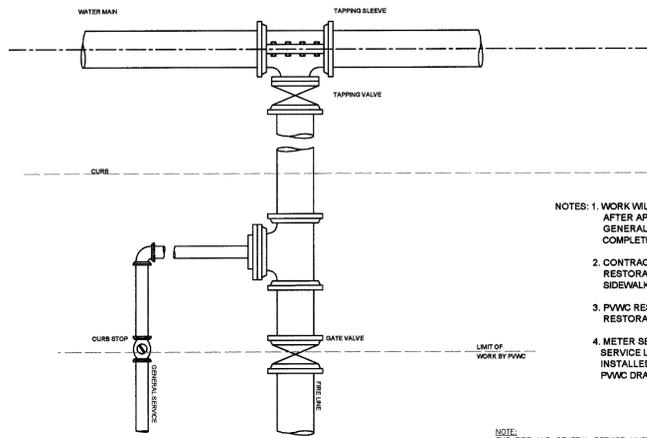
PROJECT NO. 3971

DATE 03/27/20

DESIGNED BY PLH

CHECKED BY





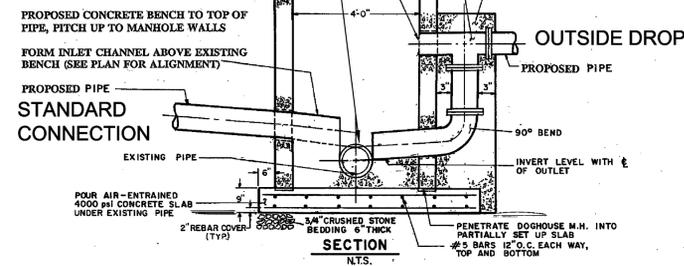
**FIRE SERVICE TYPICAL DETAIL**  
NOT TO SCALE

- NOTES:
1. WORK WILL BE SCHEDULED AFTER APPLICATIONS FOR GENERAL AND FIRE SERVICES ARE COMPLETED.
  2. CONTRACTOR/OWNER RESPONSIBLE FOR RESTORATION OF THE CURB AND SIDEWALK AREA.
  3. P.W.C. RESPONSIBLE FOR RESTORATION OF THE ROADWAY.
  4. METER SETTING ON GENERAL SERVICE LINE SHALL BE INSTALLED ACCORDING TO ATTACHED P.W.C. DRAWINGS.

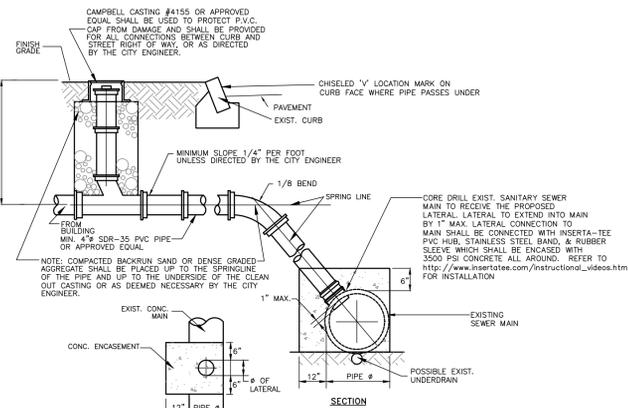
NOTE:  
THE FIRE AND GENERAL SERVICE MUST BE SPLIT AT THE CURB WITH SEPARATE SHUT OFF VALVES.

SPLIT PIPE TO FORM CHANNEL AFTER MANHOLE IS CONSTRUCTED. CHANNEL MUST MATCH INVERT OF PIPE.  
DOGHOUSE OPENING FOR SEWER SHALL BE CAST IN MANHOLE SECTION. AFTER PLACING MANHOLE SECTION, FILL AROUND PIPE WITH NON-SHRINKING GROUT.

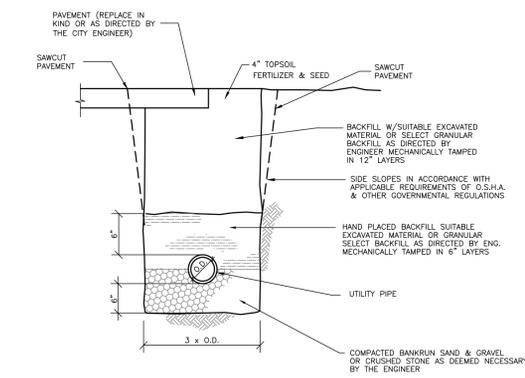
DROP CONNECTION TO BE SAME DIAMETER AS INLET. SEWER FITTINGS SHALL BE PVC SCHEDULE 40 & SHALL CONFORM TO STANDARD SPECIFICATIONS FOR CONCRETE MASONRY UNITS FOR CONSTRUCTION OR CATCH BASINS & MANHOLES ASTM DESIGNATION C-139-99.



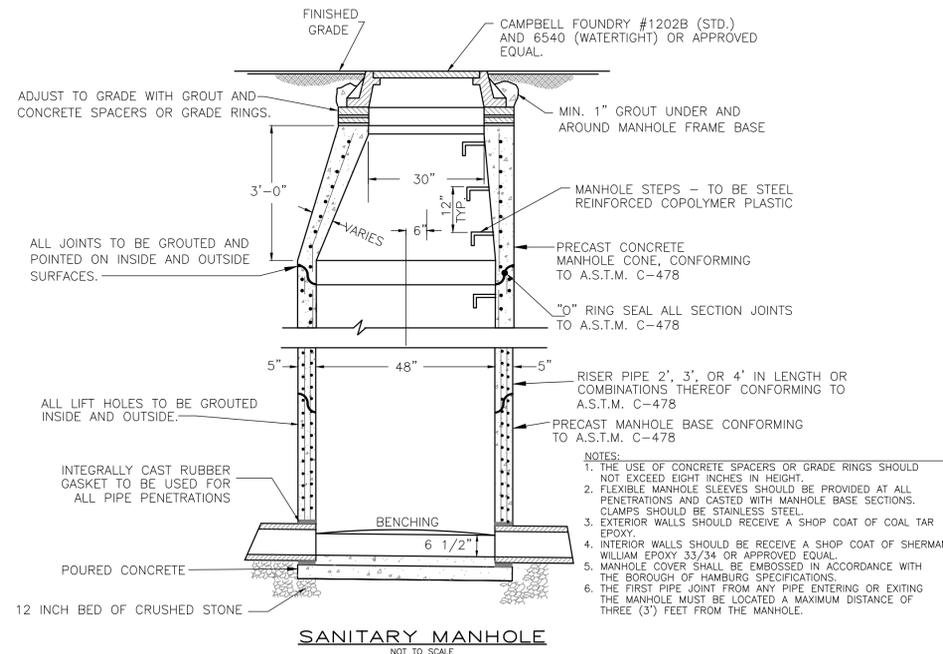
**DOGHOUSE MANHOLE**  
N.T.S.



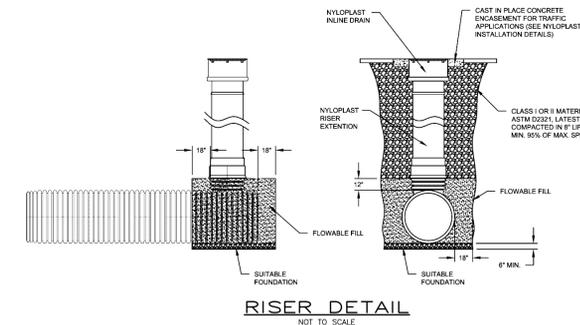
**LATERAL CONNECTION TO EXISTING SEWER MAIN DETAIL**  
NOT TO SCALE



**TYPICAL UTILITY TRENCH DETAIL**  
NOT TO SCALE



**SANITARY MANHOLE**  
NOT TO SCALE



**RISER DETAIL**  
NOT TO SCALE

**THE STATION AT PASSAIC**  
BLOCK 5000.02 - LOT 1  
CITY OF PASSAIC  
PASSAIC COUNTY, NEW JERSEY

**ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 2)**

drawing no. 7 of 15  
project no. 3971  
date 03/27/20  
checked by PLH  
drawn by PDMC

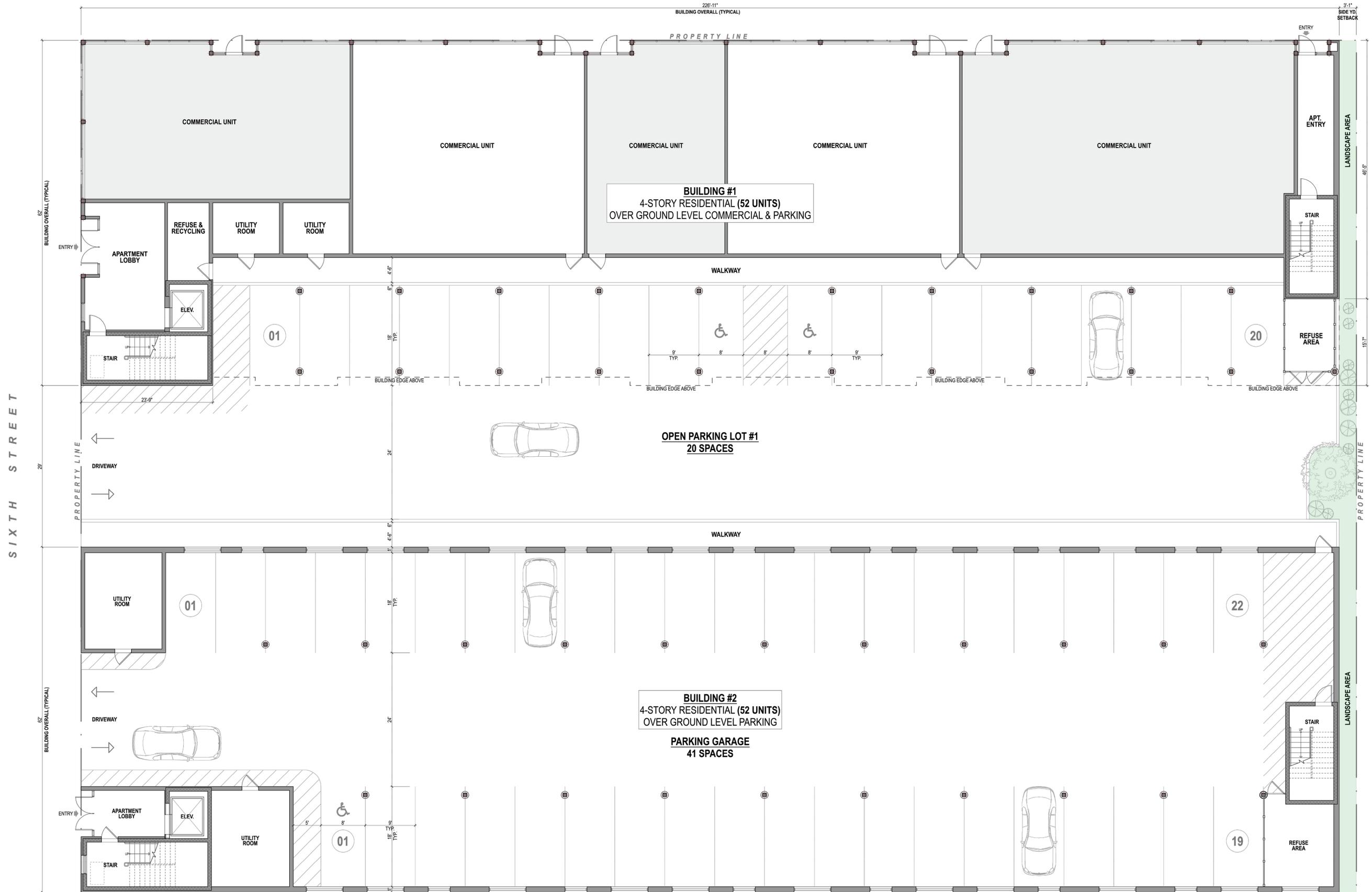
NO.	DATE	REVISIONS

THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A DESIGN NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS, ALTERATIONS AND/OR OMISSIONS WILL BE THE RESPONSIBILITY OF THE USER. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THIS DOCUMENT IS THE PROPERTY OF MCB AND IS TO BE RETURNED TO MCB UPON COMPLETION OF THE PROJECT.

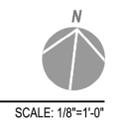
**MCB ENGINEERING ASSOCIATES, LLC**  
P.O. BOX 588, 11 FURLER STREET  
TOWANA, NEW JERSEY 07511-0588  
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881  
Email: mcb@mcbea.com Website: www.mcbea.com

**MATTHEW G. CLARK**  
Professional Engineer License No. 35099  
Professional Seal of the Professional Engineer, State of New Jersey

NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.



GROUND LEVEL PLAN - BUILDINGS # 1 & # 2



NO.	DATE	REVISIONS

**OMLK Architects** Inc.  
 66 Willow Avenue  
 Hoboken, NJ 07030  
 omlkarchitects.com  
 t. 201.689.7220  
 e. om@omlkarchitects.com

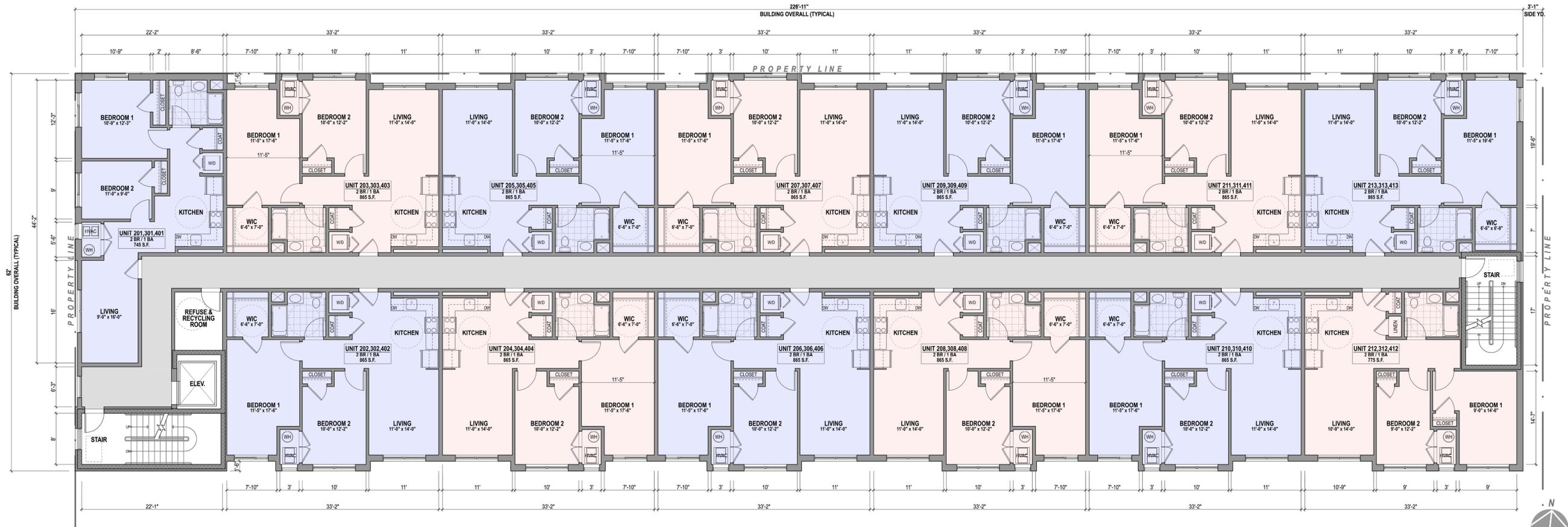
*[Signature]*  
 Credits: Matthew  
 N.J. Lic. No. 15820 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /  
 Multi-Family Residential (208 Units)  
 4-Building Development  
 @ Passaic Street & Sixth Street Passaic, NJ  
 BLOCK: 5000.02 LOT: 1

1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

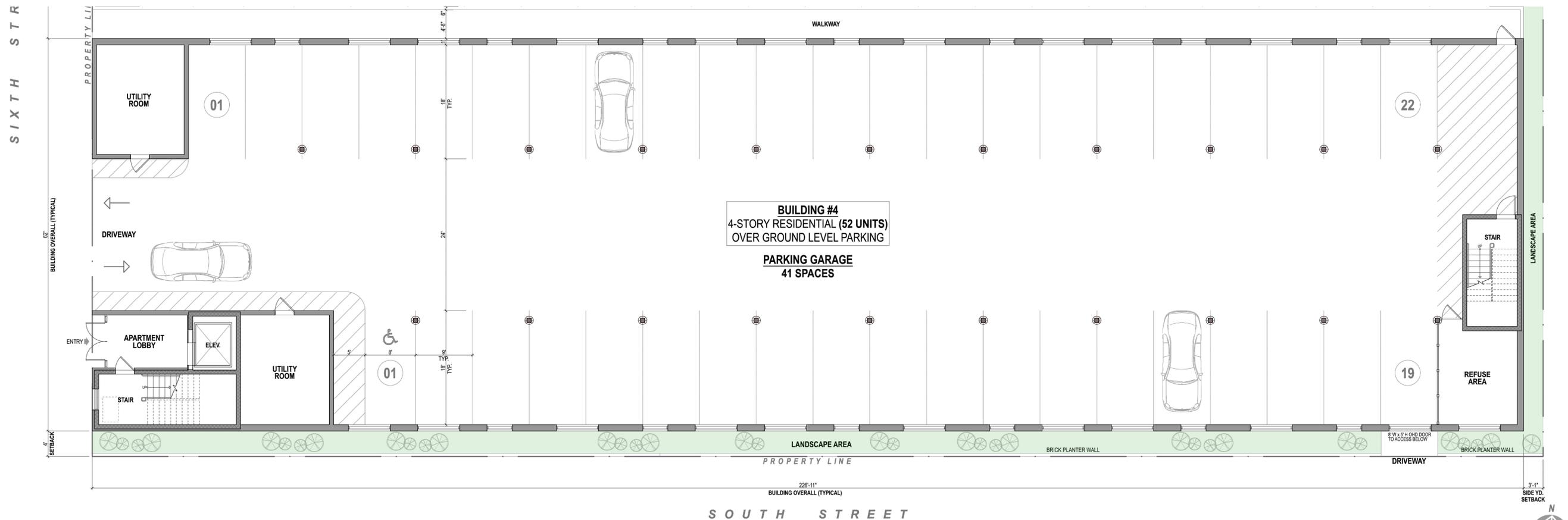
**Z-1**





TYPICAL FLOOR PLAN @ BUILDINGS # 1 - # 4 (2ND - 5TH FLOORS)

SCALE: 1/8"=1'-0"



GROUND LEVEL PLAN - BUILDING # 4

SCALE: 1/8"=1'-0"



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 e. om@omlkarchitects.com

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Proposed Mixed Commercial /  
 Multi-Family Residential (208 Units)  
 4-Building Development  
 @ Passaic Street & Sixth Street Passaic, NJ  
 BLOCK: 5000.02 LOT: 1

1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

**Z-3**



PASSAIC STREET ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"



revisions

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*[Signature]*  
 Onaldo Martínez  
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SEVENTH STREET(FORMER) ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"

SIXTH STREET ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"

Proposed Mixed Commercial /  
 Multi-Family Residential (208 Units)  
 4-Building Development  
 @ Passaic Street & Sixth Street Passaic, NJ  
 BLOCK: 5000.02 LOT: 1

1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

**Z-4**



INTERIOR REAR ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"



no.	description	date

**OMLK Architects** Inc.  
 66 Willow Avenue  
 Hoboken, NJ 07030  
 omkarchitects.com  
 t. 201.689.7220  
 e. om@omkarchitects.com

*[Signature]*  
 Orlando Martinez  
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /  
 Multi-Family Residential (208 Units)  
 4-Building Development  
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 BLOCK: 5000.02 LOT: 1

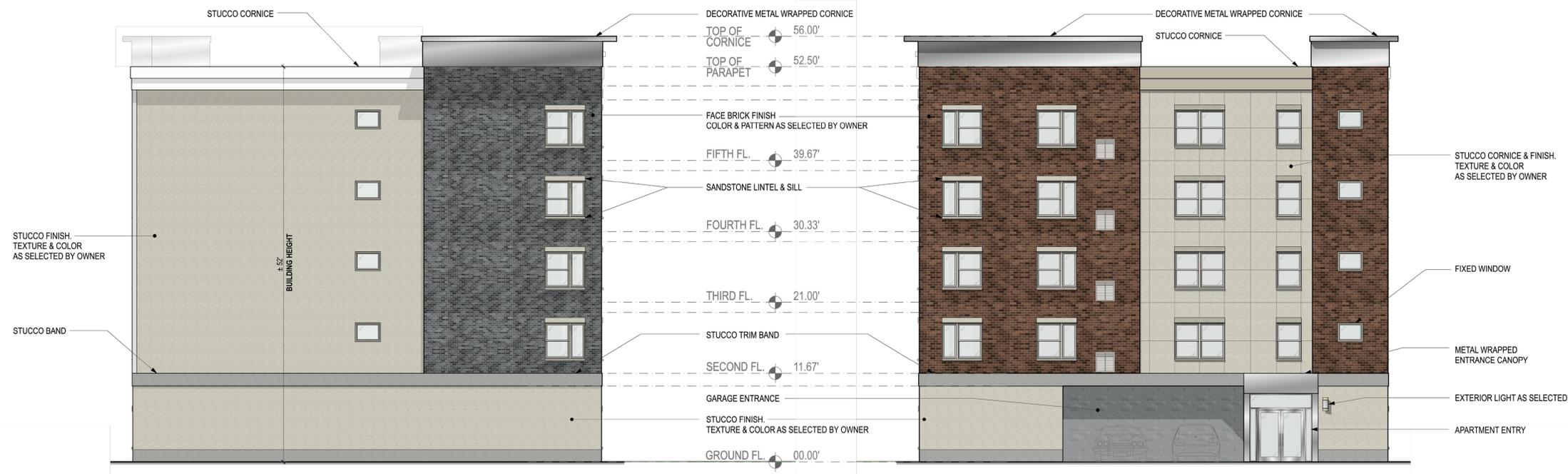
1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

**Z-5**



INTERIOR BUILDING ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"



SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"

SIXTH STREET ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"



revisions

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 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /  
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 4-Building Development  
 @ Passaic Street & Sixth Street Passaic, NJ  
 BLOCK: 5000.02 LOT: 1

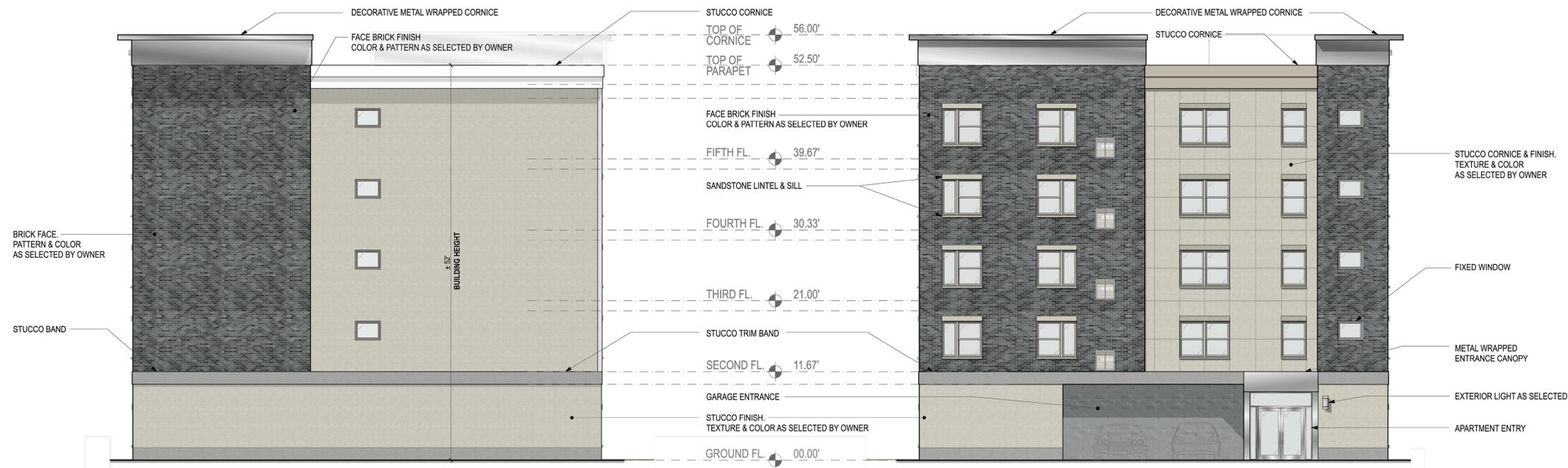
1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

**Z-6**



SOUTH STREET ELEVATION - BUILDING # 4

SCALE: 1/8"=1'-0"



SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 4

SCALE: 1/8"=1'-0"

SIXTH STREET ELEVATION - BUILDING # 4

SCALE: 1/8"=1'-0"



NO.	REVISIONS

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 Creative Director  
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /  
 Multi-Family Residential (208 Units)  
 4-Building Development  
 @ Passaic Street & Sixth Street Passaic, NJ  
 BLOCK: 5000.02 LOT: 1

1822	proj. no.
03/27/20	date
LK	drawn
OM	check
as noted	scale

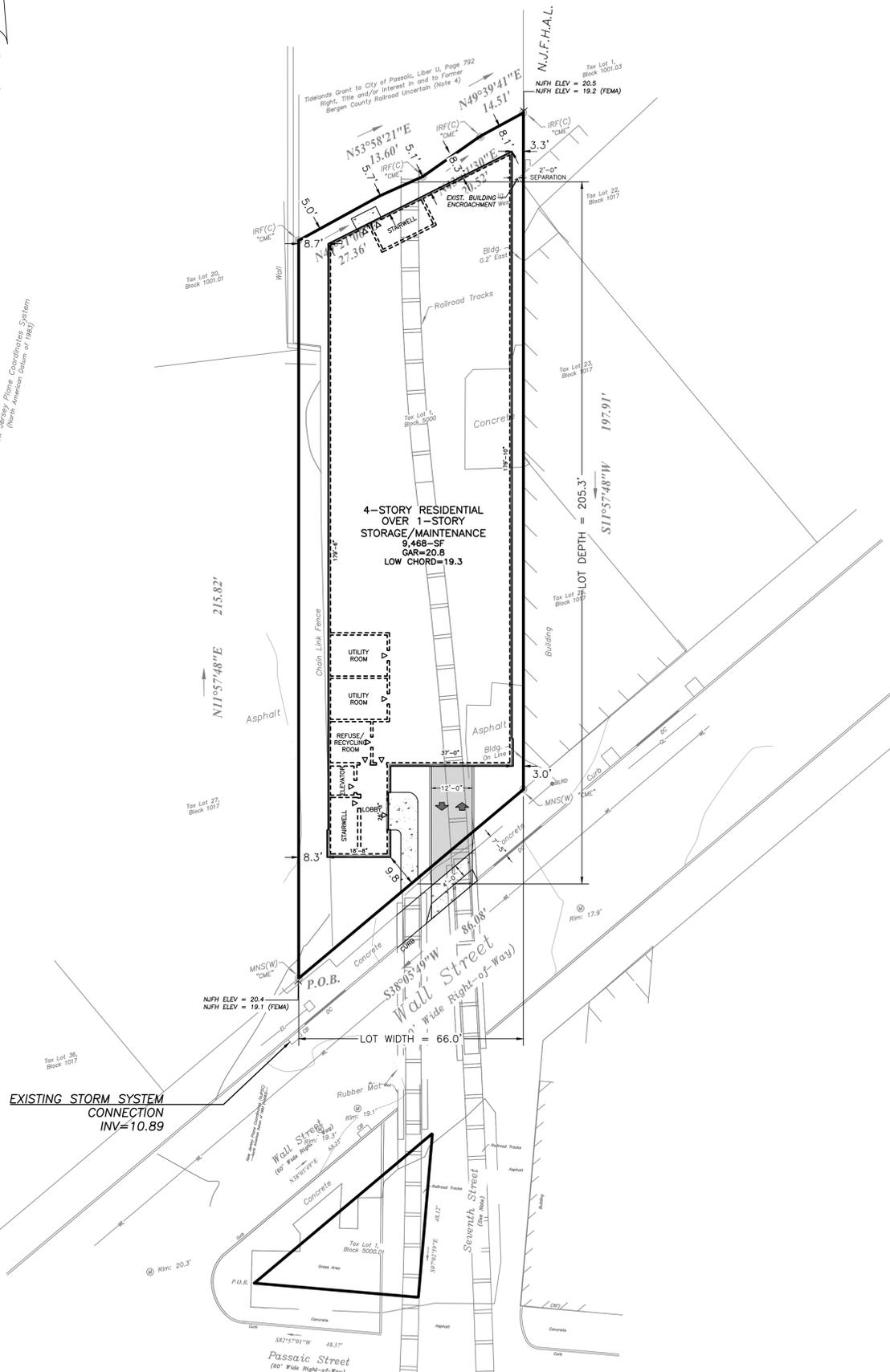
**Z-7**



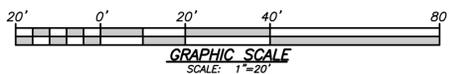




New Jersey Plans, Coordinates System  
From American Datum of 1983



**SITE DIMENSION PLAN**



**GENERAL NOTES / REFERENCES**

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,622-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT 5000/1 BY BEAR SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAYMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FP) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
- FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
- PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER ACCESS TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
- TBYV = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAIC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.

NOTE: R-3 ZONE INFORMATION PROVIDED FOR COMPARISON PURPOSES

REDEVELOPMENT ORDINANCE (NOTE 11)	REQUIRED (R-3 MULTIFAMILY)	REQUIRED (R-3 GARDEN APTS.)	REQUIRED (MIXED COMMERCIAL - RESIDENTIAL)	REQUIRED (REDEVELOPMENT ORDINANCE, NOTE 11)	PROPOSED (WALL STREET SITE)
MINIMUM LOT SIZE	10,000-SF	1.0-AC.	10,000-SF	-	13,622-SF
MINIMUM LOT WIDTH <sup>1</sup>	75-FT	150-FT	75-FT	-	66.0-FT
MINIMUM LOT DEPTH	100-FT	100-FT	100-FT	-	205.3-FT
MINIMUM FRONT YARD	20.0-FT <sup>2</sup>	20.0-FT <sup>2</sup>	20.0-FT <sup>2</sup>	0-FT	9.8-FT
MINIMUM SIDE YARD	15-FT <sup>3</sup>	15-FT <sup>3</sup>	-	3-FT	3.0-FT
MINIMUM REAR YARD	25-FT	25-FT	10-FT	5-FT	5.0-FT
MAX. BUILDING HEIGHT (STORIES) <sup>4</sup>	3-STORIES	3-STORIES	-	75-FT (NOTE 6)	(NOTE 6)
MAX. BUILDING HEIGHT (FEET)	35-FT	35-FT	50%	-	115.1
MAXIMUM LOT COVERAGE <sup>5</sup>	30%	25%	60%	-	69.5%
MAXIMUM DENSITY (UNITS PER ACRE)	30	24	50	-	115.1
DWELLING UNITS	17.96	17.96	-	265-UNITS	36-UNITS
MAX. FLOOR AREA RATIO	-	-	-	6.0	3.48 <sup>8</sup>
MINIMUM OPEN SPACE	25% <sup>7</sup>	25% <sup>7</sup>	-	-	26.8%
PARKING SPACES	412-SPACES <sup>9</sup>	412-SPACES <sup>9</sup>	412-SPACES <sup>9</sup>	208-SPACES <sup>11</sup>	0-SPACES <sup>10</sup>
PARKING SPACE SIZE	9' x 19'	9' x 19'	9' x 19'	9' x 19'	N/A

**ZONING INFORMATION NOTES**

- SECTION 317-10 LOT DEPTH - THE MEAN HORIZONTAL DISTANCE BETWEEN THE FRONT AND REAR LOT LINES.
- AS PER 317 ATTACHMENT 5 "NEEDLE OF FRONT YARDS WITHIN 100 FEET ON SAME SIDE BUT NOT LESS THAN 20 FEET" THE AVERAGE FRONT YARD WITHIN 100-FT IS ABOUT 0-FT BASED ON THE AERIAL MAP, THEREFORE USE 20-FT MINIMUM.
- AS PER 317 ATTACHMENT 5 "2-STORY BUILDING, TO FEET EACH: 3 STORY BUILDING, 15 FEET EACH".
- SECTION 317-10 HEIGHT OF BUILDING - THE VERTICAL DISTANCE MEASURED FROM THE CURB LEVEL, IF THE BUILDING IS NOT MORE THAN 10 FEET DISTANT FROM THE FRONT LOT LINE AND FROM THE AVERAGE GROUND LEVEL AT THE SIDES OF THE BUILDING IN ALL OTHER CASES TO THE HIGHEST ROOF BEAM (ROOF), IN THE CASE OF FLAT ROOFS, TO THE HIGHEST POINT OF THE ROOF, INCLUDING PARAPET WALLS. [Amended 10-9-2007 by Ord. No. 1743-07]
- SECTION 317-10 LOT COVERAGE - THAT PORTION OF A LOT COVERED BY THE LARGEST FLOOR AREA OF ALL STRUCTURES, BOTH PRINCIPAL AND ACCESSORY, BUT EXCLUDING DECKS, POOLS AND AT-GRADE PATIOS. [Amended 9-17-1987 by Ord. No. 990-87; 6-1-1995 by Ord. No. 1330-95]
- PER ARCHITECTS PLANS.
- AS PER 317 ATTACHMENT 5 "20% OF LOT AREA".
- SIXTH STREET SITE: FLOOR AREA IS APPROXIMATED BY TAKING THE TOTAL UPPER FLOOR FOOTPRINT AREAS OF 53,118-SF 5-STORIES WHICH EQUALS 265,590-SF (WHICH NEEDS TO BE VERIFIED BY THE ARCHITECT), THEREFORE THE FLOOR AREA RATIO IS ABOUT 2.45 = (211,200/86,260). WALL STREET SITE: FLOOR AREA IS APPROXIMATED BY TAKING THE BUILDING FOOTPRINT AREA OF 9,488-SF AND MULTIPLYING BY 5-STORIES WHICH EQUALS 47,340-SF. THEREFORE THE FLOOR AREA RATIO IS ABOUT 3.48 = (47,340/13,622).
- SECTION 317-26A RETAIL STORES AND SERVICE ESTABLISHMENTS UP TO 20,000 SQUARE FEET OF FLOOR AREA PER BUILDING, 1 PER 300 SQUARE FEET OF FLOOR AREA, EXCEEDING 20,000 SQUARE FEET PER BUILDING, 1 PER 200 SQUARE FEET, PLUS 1 PER EMPLOYEE. SECTION 317-26C(2) AS PER ISS. 1958 SEC. 5.21-114 TABLE 4.4 PARKING REQUIREMENTS FOR RESIDENTIAL LAND USES FOR GARDEN APARTMENTS ARE: 1-BR - SPACES PER 1-BR AND 2-0-SPACES PER 2-BR UNITS ARE REQUIRED. THE TOTAL NUMBER OF 1-BR & 2-BR UNITS ARE 0-UNITS AND 195-UNITS RESPECTIVELY. THE TOTAL COMMERCIAL/RETAIL SPACE PROPOSED IS 7,564-SF. THE TOTAL NUMBER OF PARKING SPACES REQUIRED IS 442-SPACES (442-SPACES = 7,564-SF/200 + 1,860 + 2,000). NOTE THAT ADDITIONAL PARKING SPACES WILL UTILIZE THE EXISTING STREET PARKING NEAR THE TRACT. A DE-MINIMIS EXCEPTION MAY BE REQUIRED FOR ISS FOR THE RESIDENTIAL PARKING REQUIREMENTS. SECTION 317-26A RETAIL STORES UP TO 20,000-SF, 1 SPACE PER 300-SF. SECTION 317-26C(2) AS PER ISS.
- NON-CONFORMITY.
- PER REDEVELOPMENT PLAN FOR AREA DESIGNATED AN AREA IN NEED OF REDEVELOPMENT: BLOCK 5000, LOT 1, BLOCK 5000.01 LOT 1 & BLOCK 5000.02 LOT 1 DATED NOVEMBER 25, 2019. PARKING REQUIREMENTS FOR 3-BEDROOM IS 0.60-SPACES PER UNIT. 2-BEDROOM IS 0.75-SPACES PER UNIT FOR 3-BEDROOMS IS 1.2-SPACES PER UNIT. SMALL STREET SITE: THE TOTAL NUMBER OF PARKING SPACES REQUIRED IS 182-SPACES WHICH IS EQUAL TO 26-SPACES PER UNIT. 2-BEDROOM IS 0.75-SPACES PER UNIT. 1-BR & 2-BR UNITS ARE 0-UNITS AND 195-UNITS RESPECTIVELY. THE TOTAL COMMERCIAL/RETAIL SPACE PROPOSED IS 7,564-SF. THE TOTAL NUMBER OF PARKING SPACES REQUIRED IS 442-SPACES (442-SPACES = 7,564-SF/200 + 1,860 + 2,000). NOTE THAT ADDITIONAL PARKING SPACES WILL UTILIZE THE EXISTING STREET PARKING NEAR THE TRACT. A DE-MINIMIS EXCEPTION MAY BE REQUIRED FOR ISS FOR THE RESIDENTIAL PARKING REQUIREMENTS. SECTION 317-26A RETAIL STORES UP TO 20,000-SF, 1 SPACE PER 300-SF. SECTION 317-26C(2) AS PER ISS.

**SUMMARY OF IMPERVIOUS SURFACES**

	WALL STREET SITE	
	EXISTING	PROPOSED
BUILDING	0-SF	9,468-SF
PAVEMENT	0-SF	293-SF
SIDEWALK/CONCRETE	0-SF	203-SF
GRAVEL	0-SF	203-SF
<b>TOTAL</b>	<b>0-SF</b>	<b>9,964-SF</b>

**IMPERVIOUS SURFACE NOTES**

- INCREASE IN IMPERVIOUS SURFACE (WALL STREET) EQUALS 9,964-SF OR 0.229-AC. (9,964 - 0).

THE STATION AT PASSAIC  
BLOCK 5000 - LOT 1  
CITY OF PASSAIC  
PASSAIC COUNTY, NEW JERSEY

2 of 11

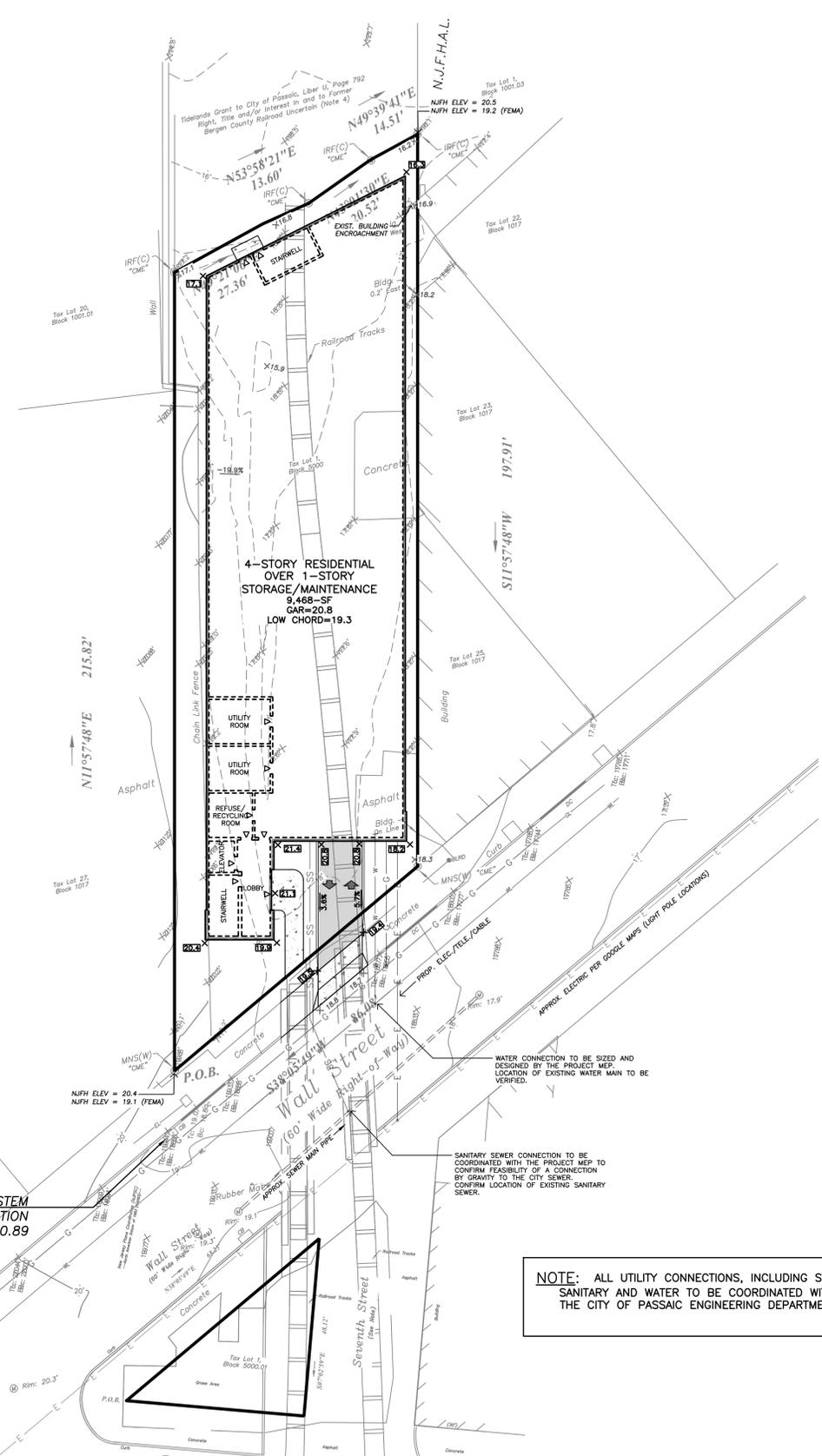
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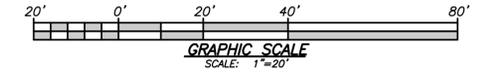




New Jersey Plans, Coordinates System  
From American Datum of 1983



**GRADING & UTILITY PLAN**



**NOTE:** ALL UTILITY CONNECTIONS, INCLUDING STORM, SANITARY AND WATER TO BE COORDINATED WITH THE CITY OF PASSAIC ENGINEERING DEPARTMENT.

**GENERAL NOTES / REFERENCES**

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1989 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ" BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT: 5000/1" BY BEGAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FPF) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMP SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
- FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
- PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER ACCESS TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
- TBY = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAIC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.

**WATER DEMAND AND SANITARY SEWER PROJECTED FLOWS**

WATER DEMAND, RSIS NJAC 5:21-5.2, TABLE 5.1 (PDF PG. 69 OF 143)

DEFINITION: GARDEN STYLE UNIT

2-BEDROOM	175 GAL/DAY/2-BR	24 UNITS	175x24	=	4,200 GAL/DAY
1-BEDROOM	120 GAL/DAY/2-BR	12 UNITS	120x12	=	1,440 GAL/DAY
			TOTAL	=	5,640 GAL/DAY

PROPOSED WATER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

SANITARY SEWER PROJECTED FLOW, NJAC 7:14A-23.3(c) (PDF PG. 2 OF 43)

DEFINITION: RESIDENTIAL DWELLING

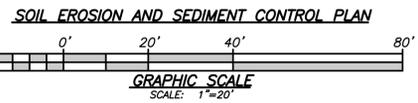
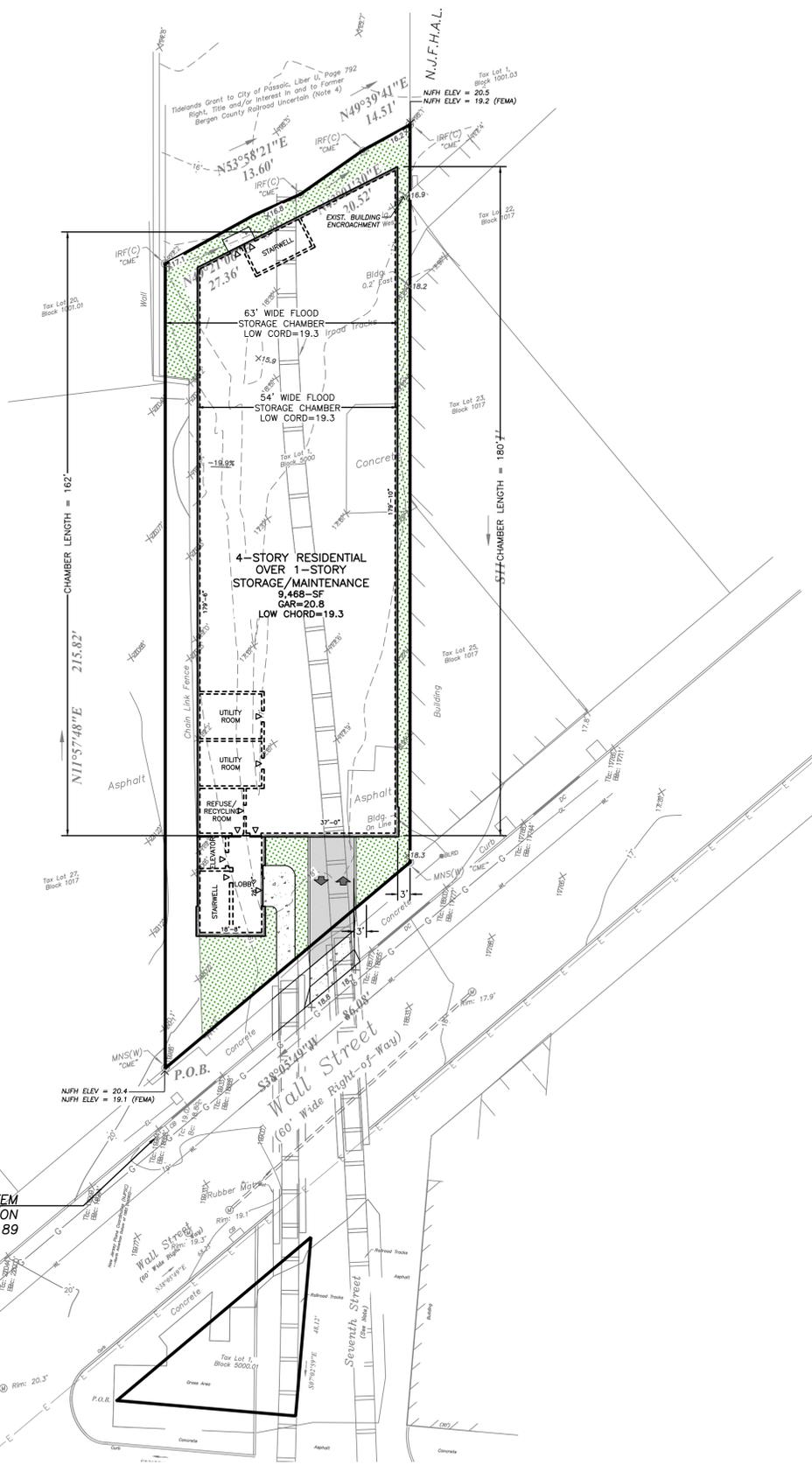
2-BEDROOM	225 GAL/DAY/2-BR	24 UNITS	225x24	=	5,400 GAL/DAY
1-BEDROOM	150 GAL/DAY/2-BR	12 UNITS	150x12	=	1,800 GAL/DAY
			TOTAL	=	7,200 GAL/DAY

PROPOSED SANITARY SEWER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

<p><b>THE STATION AT PASSAIC</b> BLOCK 5000 - LOT 1 CITY OF PASSAIC PASSAIC COUNTY, NEW JERSEY</p>	<p><b>GRADING &amp; UTILITY PLAN</b></p>	<p>4 of 11 PROJECT NO. 3971 DATE 03/27/20 SCALE 1"=20' DRAWN BY PLH CHECKED BY PDMC</p>									
<p><b>REVISIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION									
<p>THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION DATE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY REVISIONS TO THESE PLANS MUST BE APPROVED BY THE PROJECT ARCHITECT AND COORDINATION WITH THE PROJECT TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.</p>											
<table border="0" style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p><b>MCB ENGINEERING ASSOCIATES, LLC</b> P.O. BOX 588, 11 FURLER STREET TOWANA, NEW JERSEY 07511-0588 PHONE: (973) 612-6880 - FACSIMILE: (973) 612-6881 Email: mcb@mcba.com Website: www.mcba.com</p> </td> <td style="width: 50%; vertical-align: top;"> <p><b>MATTHEW G. CLARK</b> Professional Engineer License No. 35099 City of Passaic, New Jersey Professional Seal of the Professional Engineer, State of New Jersey</p> </td> </tr> </table>			<p><b>MCB ENGINEERING ASSOCIATES, LLC</b> P.O. BOX 588, 11 FURLER STREET TOWANA, NEW JERSEY 07511-0588 PHONE: (973) 612-6880 - FACSIMILE: (973) 612-6881 Email: mcb@mcba.com Website: www.mcba.com</p>	<p><b>MATTHEW G. CLARK</b> Professional Engineer License No. 35099 City of Passaic, New Jersey Professional Seal of the Professional Engineer, State of New Jersey</p>							
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<p><b>4 OF 11</b></p>											



New Jersey Plans, Coordinates System  
(From American Column of 1883)

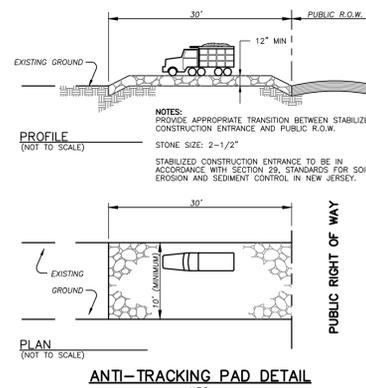


### SEEDING NOTES

- TOPSOIL STOCKPILE PROTECTION**
- CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
  - APPLY LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
  - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
  - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F.
- TEMPORARY STABILIZATION SPECIFICATIONS**
- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F. AND WORK INTO SOIL 4" DEEP.
  - APPLY SEED MIXTURE:
  - PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE OR A PROVIDED EQUAL.
  - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCT 1, IF POSSIBLE.
- PERMANENT STABILIZATION SPECIFICATIONS**
- APPLY TOPSOIL TO A DEPTH OF 4".
  - APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
  - APPLY SEED MIXTURE:
  - PERENNIAL RYEGRASS AT 10 LBS/ACRE, KENTUCKY BLUEGRASS AT 25 LBS/ACRE, RED FESCUE AT 15 LBS/ACRE, AND SPREADING FESCUE AT 15 LBS/ACRE OR APPROVAL EQUAL.
  - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F. ACCORDING TO THE N.J. STANDARDS.
  - ANCHOR MULCH WITH EMULSIFIED ASPHALT (SS-1) APPLIED AT A RATE OF 1 GAL/1000 S.F. OTHER APPROVED METHODS (I.E. PEG AND TWINE, OR MULCH NETTING) MAY BE USED, IF POSSIBLE, PLANT BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1.

### DUST CONTROL NOTES:

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES** - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)
- VEGETATIVE COVER** - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL EROSION STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
- SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- | MATERIAL                 | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS / ACRE |
|--------------------------|----------------|----------------|----------------------|
| ANIONIC ASPHALT EMULSION | 7:1            | COARSE SPRAY   | 1200                 |
| LATEX EMULSION           | 12.5:1         | FINE SPRAY     | 235                  |
| RESIN IN WATER           | 4:1            | FINE SPRAY     | 300                  |
- POLYACRYLAMIDE (PAM) - SEDIMENT BASINS TO POLYACRYLAMIDE (PAM) - COLLOIDS.** - APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. SPRAY ON MAY ALSO BE USED AS AN ADDITIVE TO DRY SPRAY FLOCCULATE AND PRECIPITATE SUSPENDED SOLIDS.
- ACIDULATED SOY BEAN SOAP STOCK** - NONE
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- SIDE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- (STANDARDS FOR SEK SC IN N.J. 16-01, JULY, 1999.)



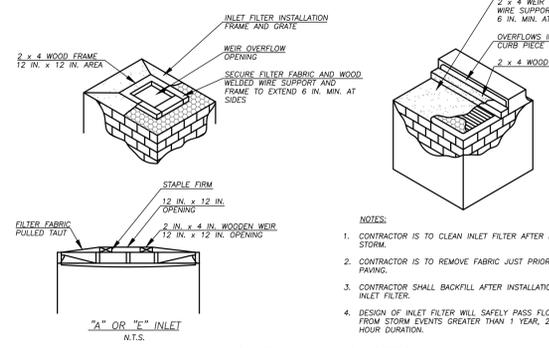
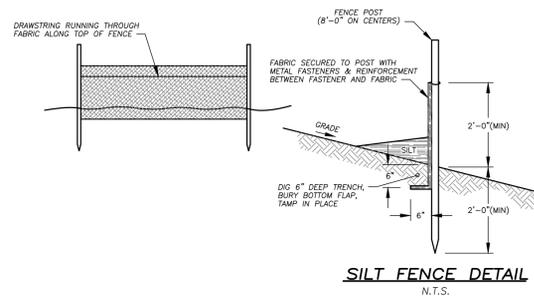
**SOIL COMPACTION EXEMPTION NOTE:** AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODED VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON-WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

### HUDSON-ESSEX PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.
- PER THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) GIS DATA SET:  
Hc1b = HASBROUCK SILT LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY (H20-0)  
US0NB = URBAN LAND-BOONTON COMPLEX, 0 TO 8 PERCENT SLOPES (H20-C)
- AREA OF DISTURBANCE = 250,100 SF OR 5.74 ACRES.

### SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROL DEVICES INCLUDING SILT FENCE AND ANTI-TRACKING PAD. (1 DAY)
  - REMOVE EXISTING SITE IMPROVEMENTS AS NEEDED (2 WEEKS)
  - ROUGH GRADE SITE (2 WEEKS)
  - INSTALL PROPOSED UTILITIES, INCLUDING STORM WATER MANAGEMENT SYSTEM (2 MONTHS)
  - BEGIN BUILDING CONSTRUCTION WITH ALL UTILITY CONNECTIONS. (9 MONTHS)
  - CONSTRUCT FINAL GRADING OF SITE, INSTALL LANDSCAPING AND FINAL STABILIZATION OF LAWN AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM OF FOUR (4) INCHES. (5 DAYS)
  - PERMANENTLY STABILIZE ALL DISTURBED AREAS AND REMOVE ALL SOIL EROSION CONTROL DEVICES AS FINAL ITEM. (1 DAY)
- TENTATIVE START DATE FOR CONSTRUCTION: JUNE 2020



**THE STATION AT PASSAIC**  
BLOCK 5000 - LOT 1  
CITY OF PASSAIC  
PASSAIC COUNTY, NEW JERSEY

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

Drawing No. 5 of 11  
Project No. 3971  
Scale 1"=20'  
Date 03/27/20  
Checked by PLH  
Drawn by PDMC

**REVISIONS**

NO.	DATE	DESCRIPTION

MOB ENGINEERING ASSOCIATES, LLC  
P.O. BOX 588, 11 FURLER STREET  
TOWANA, NEW JERSEY 07511-0588  
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881  
Email: mob@mobeng.com Website: www.mobeng.com

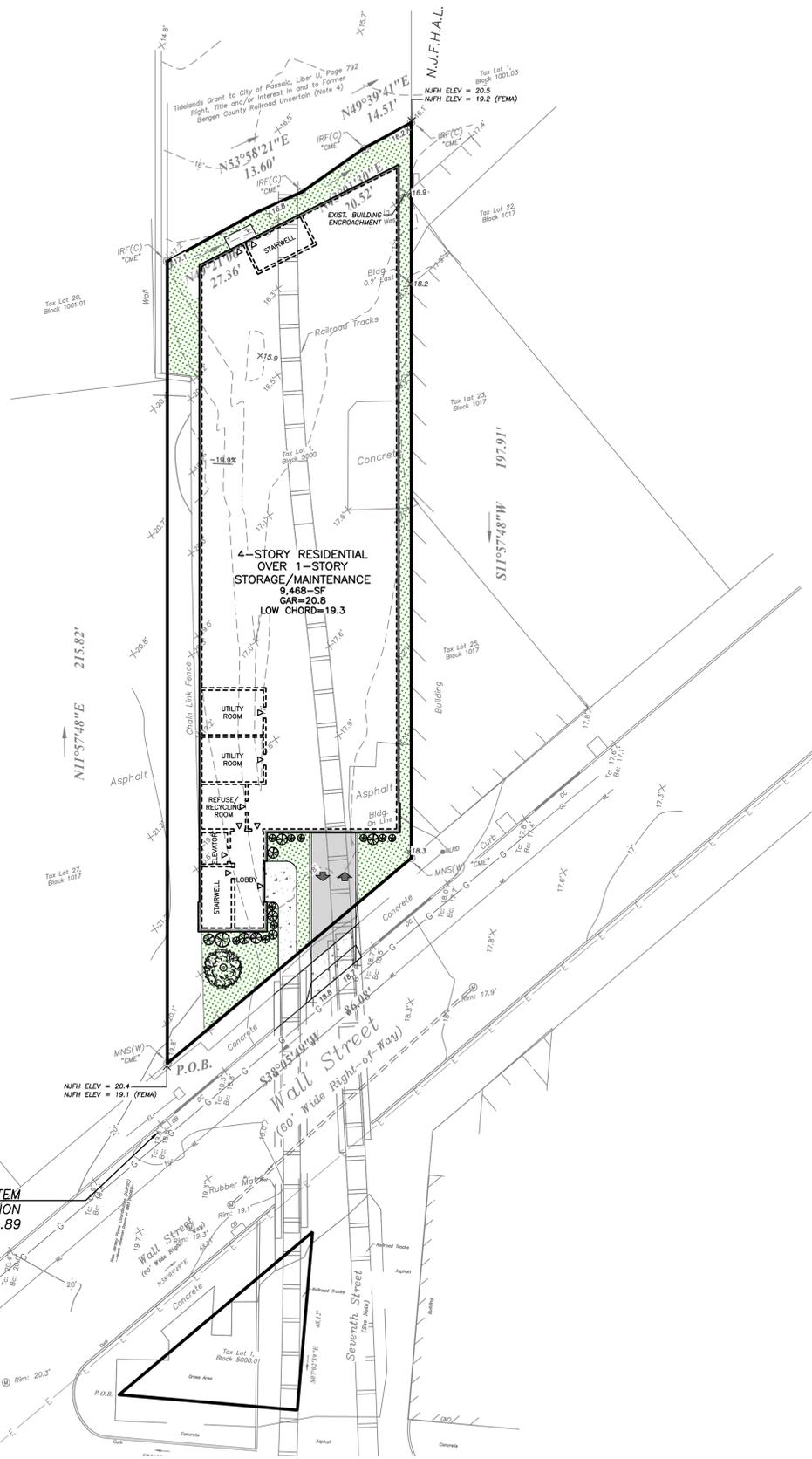
MATTHEW G. CLARK  
Professional Engineer License No. 35094  
Professional Seal of the Professional Engineers Board of New Jersey

PATRICK D. McLELLAN  
Professional Engineer License No. 35094  
Professional Seal of the Professional Engineers Board of New Jersey

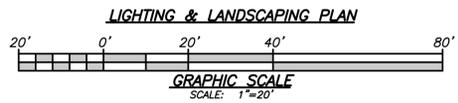
MOBA File Number 3971



New Jersey Plans, Coordinates System  
From American Datum of 1983

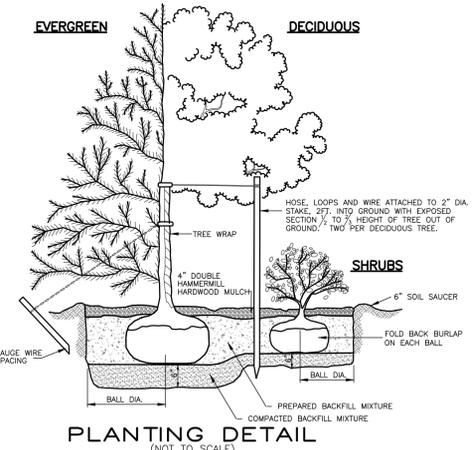


NOTE: ALL SITE LIGHT TO BE BUILDING MOUNTED LIGHTS.

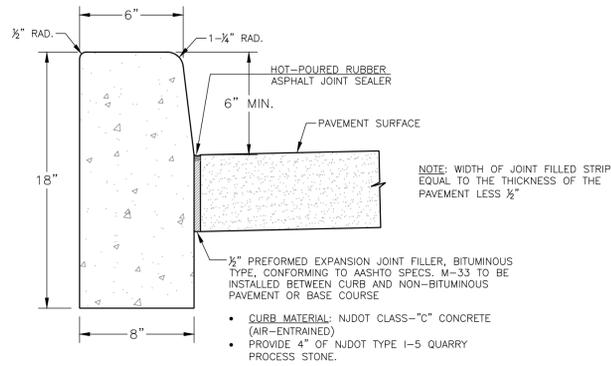


**GENERAL NOTES / REFERENCES**

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ" BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT: 5000/1" BY BEAMAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FPF) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
- FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
- PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER ACCESS TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
- TBYV = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAIC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.

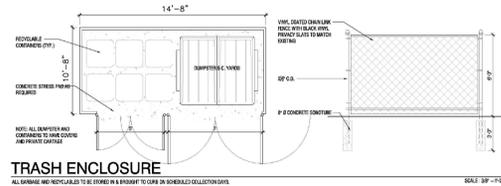


<p><b>THE STATION AT PASSAIC</b> BLOCK 5000 - LOT 1 CITY OF PASSAIC PASSAIC COUNTY, NEW JERSEY</p>		<p>drawing no. 6 of 11 project no. 3971</p>
<p>drawing name <b>LIGHTING &amp; LANDSCAPING PLAN</b></p>	<p>date 03/27/20</p>	<p>scale 1"=20'</p>
<p>drawn by PLH</p>	<p>checked by PDMC</p>	<p>DATE</p>
<p>REVISIONS</p>		
<p>THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION DATE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY REQUIRED ADDITIONAL CONSTRUCTION DETAILS AND COORDINATION WITH THE PROJECT TEAM TO BE SOUTER FOR USE IN BIDDING AND CONSTRUCTION.</p>		
<p><b>MCB ENGINEERING ASSOCIATES, LLC</b> P.O. BOX 588, 11 FURLER STREET TOWANA, NEW JERSEY 07511-0588 PHONE: (973) 612-6880 - FACSIMILE: (973) 612-6881 Email: mcb@mcba.com Website: www.mcba.com</p>		<p><b>MATTHEW G. CLARK</b> Professional Engineer License No. 35099 Professional Seal of the Professional Engineer, State of New Jersey</p>
<p><b>6 OF 11</b></p>		

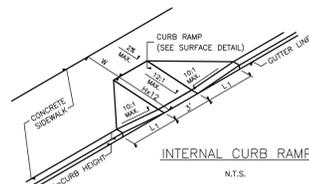


**CONCRETE VERTICAL CURB DETAIL**  
NOT TO SCALE

TRAVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. M-213 RECESSED 1/4" IN FROM FRONT FACE OF TOP OF CURB.

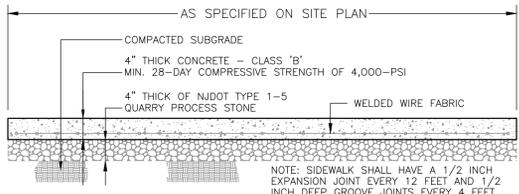


**TRASH ENCLOSURE**  
ALL GARBAGE AND RECYCLABLES TO BE STORED IN A BASKET TO CURB IN DESIGNATED COLLECTION ZONES

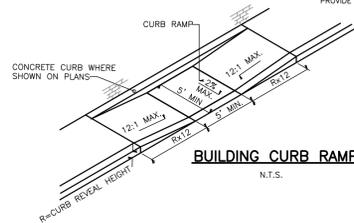


**INTERNAL CURB RAMP**  
N.T.S.

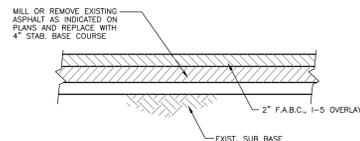
NOTE: IF W IS LESS THAN 4', THEN THE MAXIMUM SLOPE OF THE FLARED SIDE MUST BE 12:1, AND L1 MUST BE AT LEAST 12 TIMES H. FINISH IS TO BE STEEL TROWELED AND THEN LIGHT BROOMED TO PROVIDE A UNIFORM, NON-SLIP SURFACE FINISH.



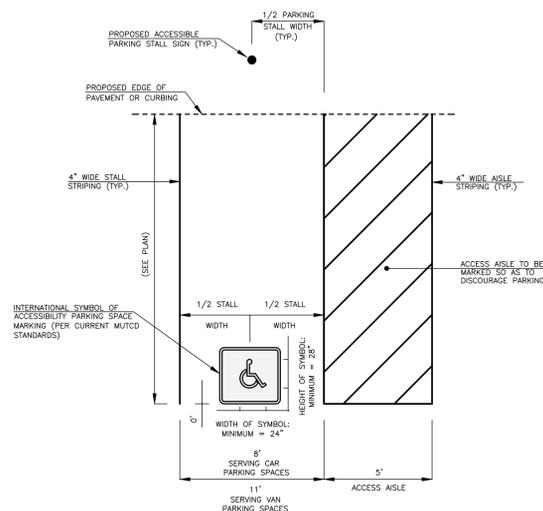
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**BUILDING CURB RAMP**  
N.T.S.



**PAVING REPLACEMENT DETAIL**  
NOT TO SCALE

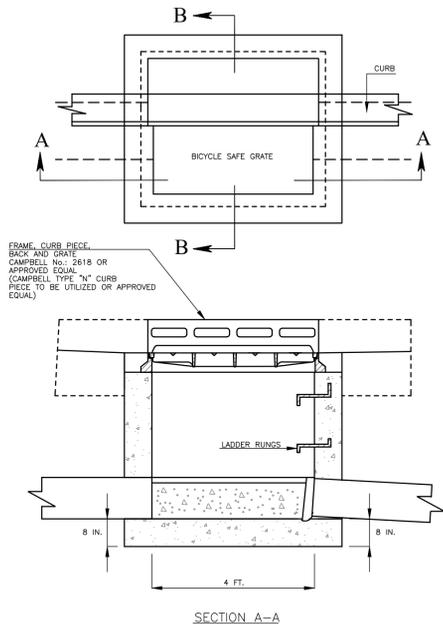


**HANDICAP PARKING STALL DETAIL**  
(N.T.S.)

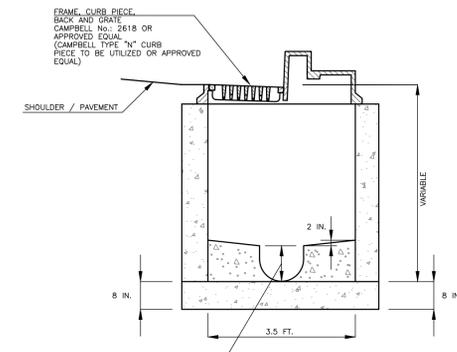
NOTES:  
1. THE CONTRACTOR SHALL ENSURE THAT THE MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 1:5%.

**INLET NOTES**

- NOTES:
1. INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8" THICK IF BRICK AND 6" THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE.
  2. FOUNDATIONS, WALLS AND INVERTS TO BE NJDOT CLASS "C" CONCRETE.
  3. WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10' AS MEASURED FROM THE TOP OF GRATE/COVER TO INVERT, WALLS BELOW A DEPTH OF 8' SHALL BE 12" THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
  4. INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE, NJDOT SIZE No. 57. THE COURSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
  5. CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED (12" MAXIMUM).
  6. WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10' AS MEASURED FROM TOP OF GRATE/COVER TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
  7. INLET REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



**SECTION A-A**

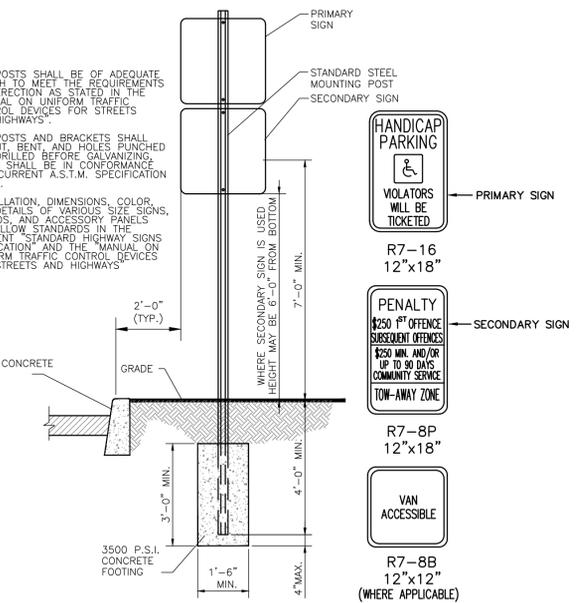


**SECTION B-B**

**INLET TYPE "B" DETAIL**  
(N.T.S.)

**NOTES:**

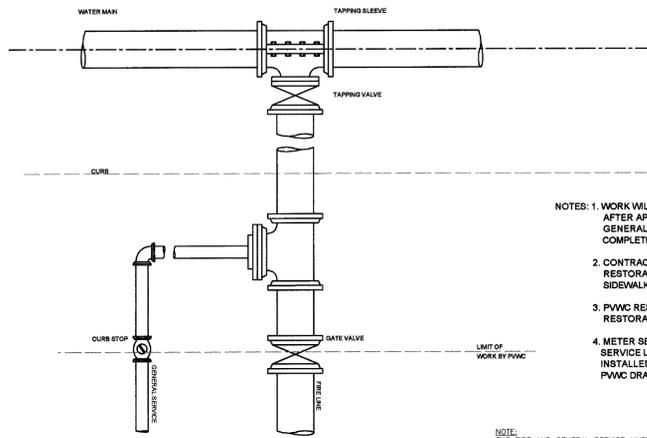
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS'.
2. ALL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A-125.
3. INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZE SIGNS, SHELDS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE 'CURRENT STANDARD HIGHWAY SIGNS PUBLICATION' AND THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS'.



**AMERICANS WITH DISABILITIES ACT ACCESSIBLE PARKING STALL SIGN DETAIL**  
(N.T.S.)

NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.

<p><b>THE STATION AT PASSAIC</b> BLOCK 5000 - LOT 1 CITY OF PASSAIC, NEW JERSEY</p>		<p>drawing no. 7 of 11 project no. 3971</p>
<p>PROJECT NAME: <b>ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 1)</b></p>		<p>DATE: 03/27/20 SCALE: 1"=20'</p>
<p>DESIGNED BY: PLH CHECKED BY: PDMC</p>		<p>DATE: REVISIONS</p>
<p>THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION DATE IS INSERTED STATUS "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION" IS NOT VALID. ANY CHANGES TO THESE PLANS MUST BE MADE IN WRITING AND APPROVED BY THE PROJECT TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.</p>		
<p><b>MCB ENGINEERING ASSOCIATES, LLC</b> P.O. BOX 588, 11 FURLER STREET TOWANA, NEW JERSEY 07511-0588 PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881 Email: mcb@mcba.com Website: www.mcba.com Lic. #E-12-00000000</p>		<p><b>MATTHEW G. CLARK</b> Professional Engineer License No. 35099 Professional Seal of the Professional Engineer, State of New Jersey</p>
<p>7 OF 11</p>		
<p>MCBA File Number 3971</p>		



**FIRE SERVICE TYPICAL DETAIL**  
NOT TO SCALE

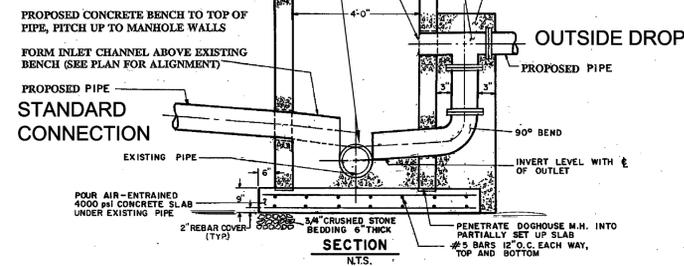
- NOTES: 1. WORK WILL BE SCHEDULED AFTER APPLICATIONS FOR GENERAL AND FIRE SERVICES ARE COMPLETED.
2. CONTRACTOR/OWNER RESPONSIBLE FOR RESTORATION OF THE CURB AND SIDEWALK AREA.
3. P.W.C. RESPONSIBLE FOR RESTORATION OF THE ROADWAY.
4. METER SETTING ON GENERAL SERVICE LINE SHALL BE INSTALLED ACCORDING TO ATTACHED P.W.C. DRAWINGS.

NOTE: THE FIRE AND GENERAL SERVICE MUST BE SPLIT AT THE CURB WITH SEPARATE SHUT OFF VALVES.

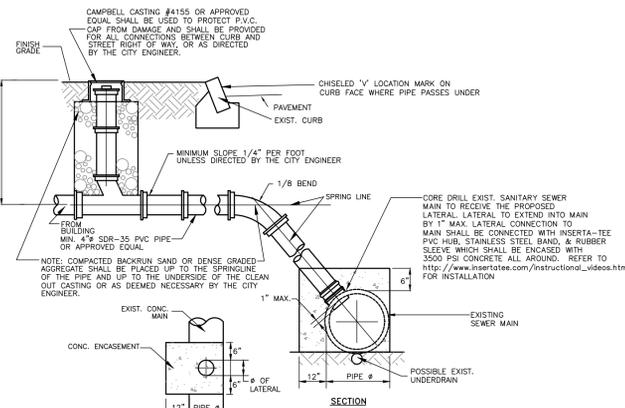
SPLIT PIPE TO FORM CHANNEL AFTER MANHOLE IS CONSTRUCTED. CHANNEL MUST MATCH INVERT OF PIPE.

DOGHOUSE OPENING FOR SEWER SHALL BE CAST IN MANHOLE SECTION. AFTER PLACING MANHOLE SECTION, FILL AROUND PIPE WITH NON-SHRINKING GROUT.

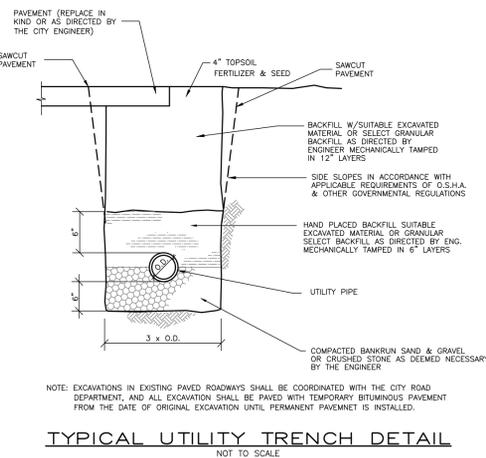
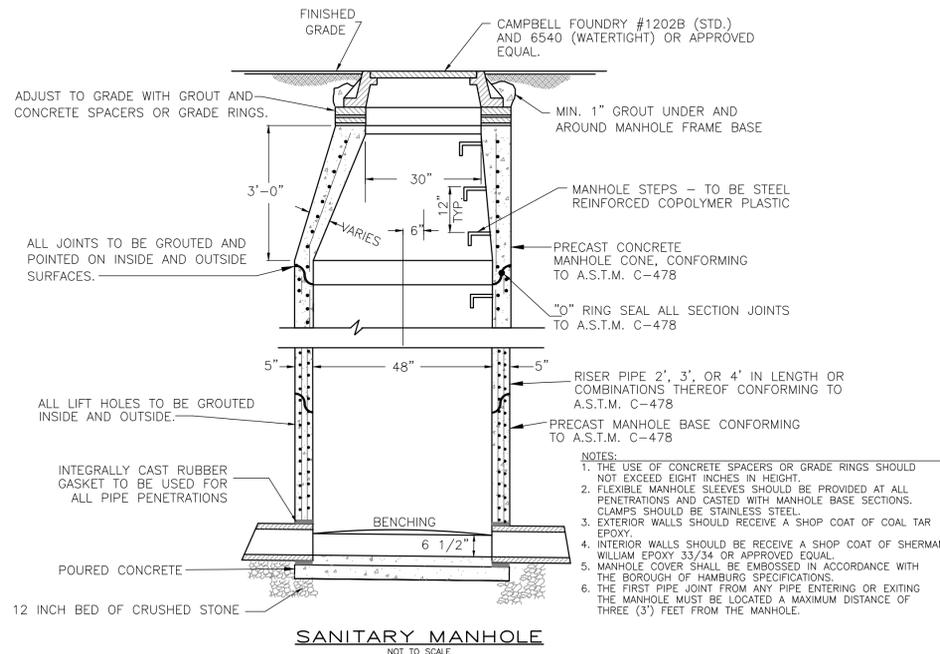
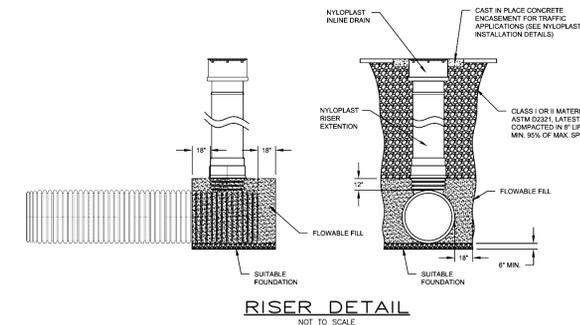
DROP CONNECTION TO BE SAME DIAMETER AS INLET. SEWER FITTINGS SHALL BE PVC SCHEDULE 40 & SHALL CONFORM TO STANDARD SPECIFICATIONS FOR CONCRETE MASONRY UNITS FOR CONSTRUCTION OR CATCH BASINS & MANHOLES ASTM DESIGNATION C-139-92.



**DOGHOUSE MANHOLE**



**LATERAL CONNECTION TO EXISTING SEWER MAIN DETAIL**  
NOT TO SCALE



**TYPICAL UTILITY TRENCH DETAIL**  
NOT TO SCALE

**THE STATION AT PASSAIC**  
BLOCK 5000 - LOT 1  
CITY OF PASSAIC  
PASSAIC COUNTY, NEW JERSEY

**ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 2)**

drawing no. 8 of 11  
project no. 3971  
date 03/27/20  
checked by PLH  
drawn by PDMC

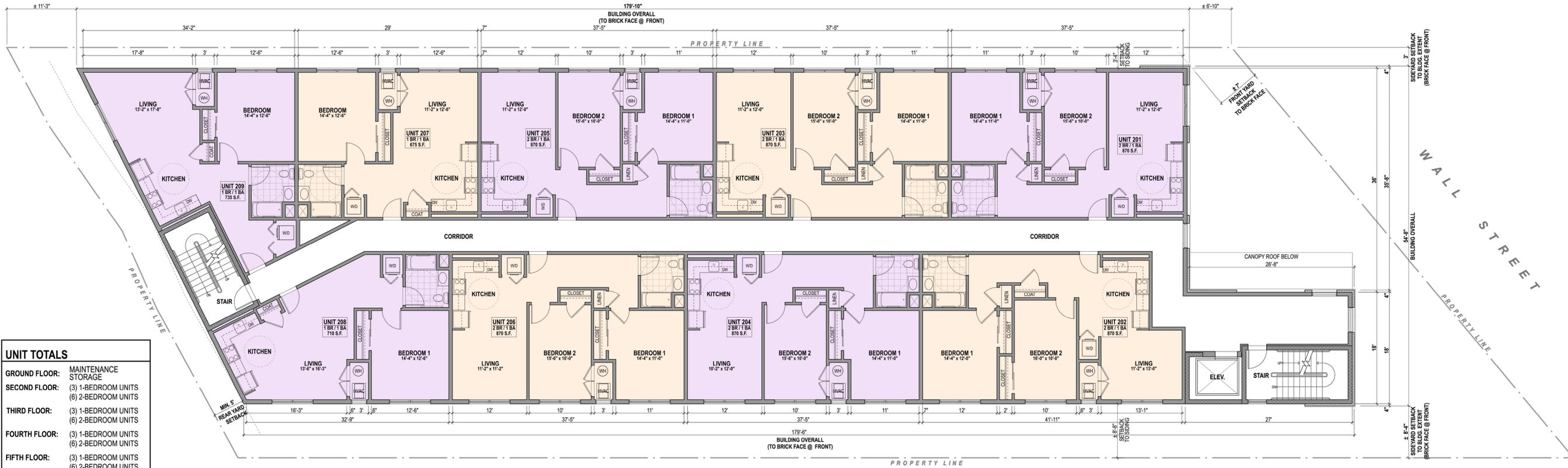
NO.	DATE	REVISIONS

THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A DESIGN NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION" THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COORDINATION WITH THE PROPERTY TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.

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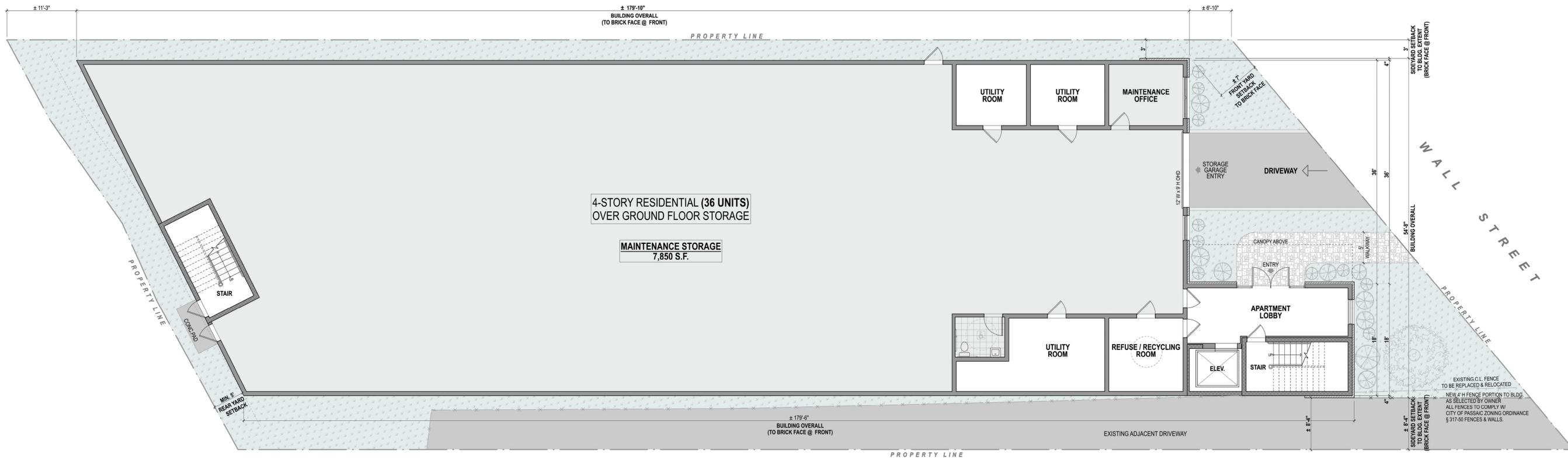
**MATTHEW G. CLARK**  
Professional Engineer License No. 30399  
Professional Seal of the Professional Engineer, State of New Jersey

NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.



TYPICAL FLOOR PLAN (2ND - 5TH FLOORS)

SCALE: 1/8"=1'-0"



GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"



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 Hoboken, NJ 07030  
 omkarchitects.com  
 t. 201.689.7720  
 e. om@omkarchitects.com

*[Signature]*  
 Onaldo Marinazzo  
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

**Proposed 5-Story Multi-Family (36 Units)  
 Residential & Storage Building @  
 54-58 Wall Street, Passaic, NJ 07055  
 BLOCK: 5000 LOT: 1 (EXISTING)  
 BLOCK: 1017 LOT: 1 (PROPOSED)**

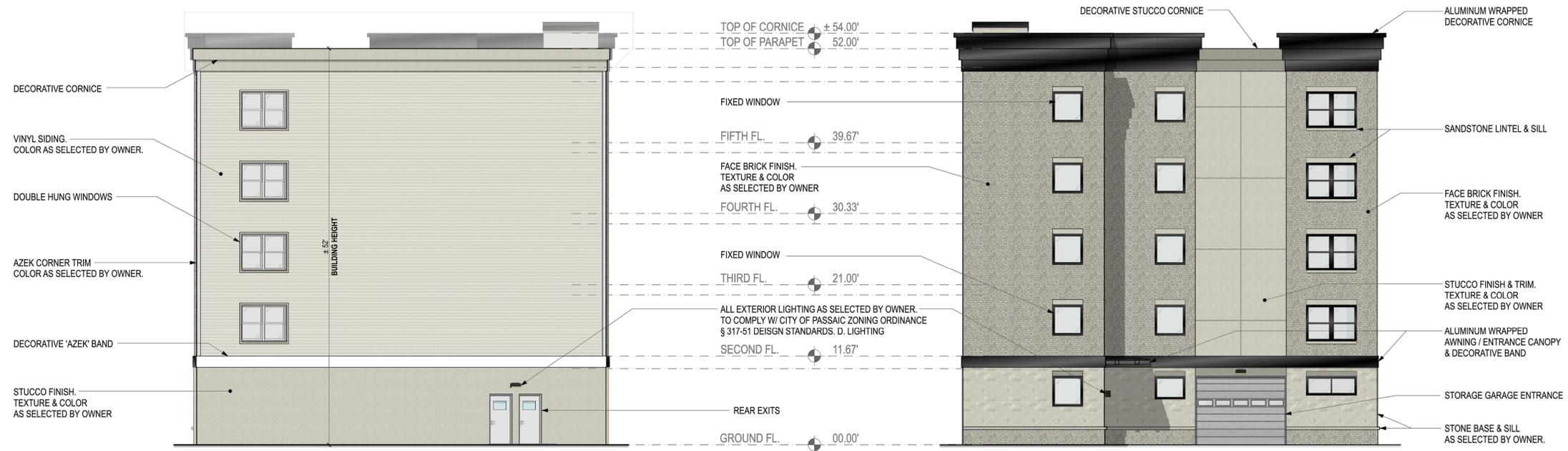
1822	proj. no.
03/30/20	date
LK	drawn
OM	check
as noted	scale

**Z-1**



PROPOSED EXTERIOR VIEW (DIGITAL IMAGE)

SCALE: NTS



REAR ELEVATION

SCALE: 1/8"=1'-0"

FRONT (WALL STREET) ELEVATION

SCALE: 1/8"=1'-0"



revisions

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*[Signature]*  
 Cheyenne Manning  
 N.J. Lic. No. 15520 N.Y. Lic. No. 026471-1

**Proposed 5-Story Multi-Family (36 Units)  
 Residential & Storage Building @  
 54-58 Wall Street, Passaic, NJ 07055  
 BLOCK: 5000 LOT: 1 (EXISTING)  
 BLOCK: 1017 LOT: 1 (PROPOSED)**

1822	proj. no.
03/30/20	date
LK	drawn
OM	check
as noted	scale

**Z-2**



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

no.	description	date

**OMLK Architects Inc.**  
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 Hoboken, NJ 07030  
 omlkarchitects.com  
 t. 201.689.7220  
 e. om@omlkarchitects.com

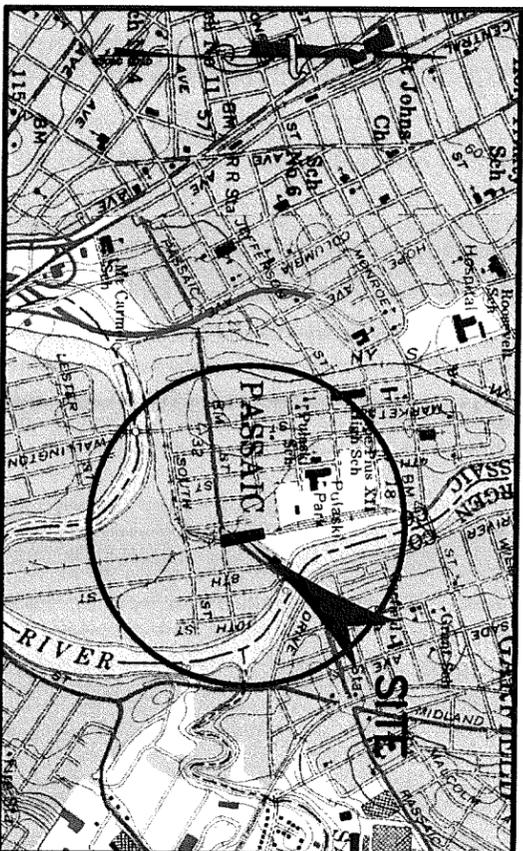
*[Signature]*  
 Orlando Marinazzo  
 N.J. Lic. No. 15520 N.Y. Lic. No. 026471-1

**Proposed 5-Story Multi-Family (36 Units)  
 Residential & Storage Building @  
 54-58 Wall Street, Passaic, NJ 07055  
 BLOCK: 5000 LOT: 1 (EXISTING)  
 BLOCK: 1017 LOT: 1 (PROPOSED)**

1822	proj. no.
03/30/20	date
LK	drawn
OM	check
as noted	scale

**Z-3**





LOCATION MAP - USC&G QUAD  
SCALE 1 : 2,000

### LEGEND

N 60°32'02" W  
192.66' (SUR) = Survey Metes & Bounds

----- = Rail Road Right-of Way Line

----- = Existing Right-of-Way Line

----- = Existing Lot Line (Deed Line)

----- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water

**REFERENCES:**

- RIGHT OF WAY & TRACK MAP-BERGEN & DUNDEE RAILROAD CO., OPERATED BY ERIE RAILROAD CO. STATION 610-66 TO STATION 702-89, VALUATION MAP NO. 8, DATED JUNE 1918, REVISED THROUGH FEB 1976.
- NU BUREAU OF TIDELANDS CLAIMS ATLAS SHEET NO. 735-2148.
- THIS MAP WAS DEVELOPED USING GEOGRAPHIC INFORMATION SYSTEM DIGITAL DATA DEVELOPED UNDER THE AUSPICES OF THE BUREAU OF TIDELANDS MANAGEMENT, NEW JERSEY STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUT THIS SECONDARY PRODUCT HAS NOT BEEN VERIFIED BY NUDEP AND IS NOT STATE-AUTHORIZED.

**NOTES:**

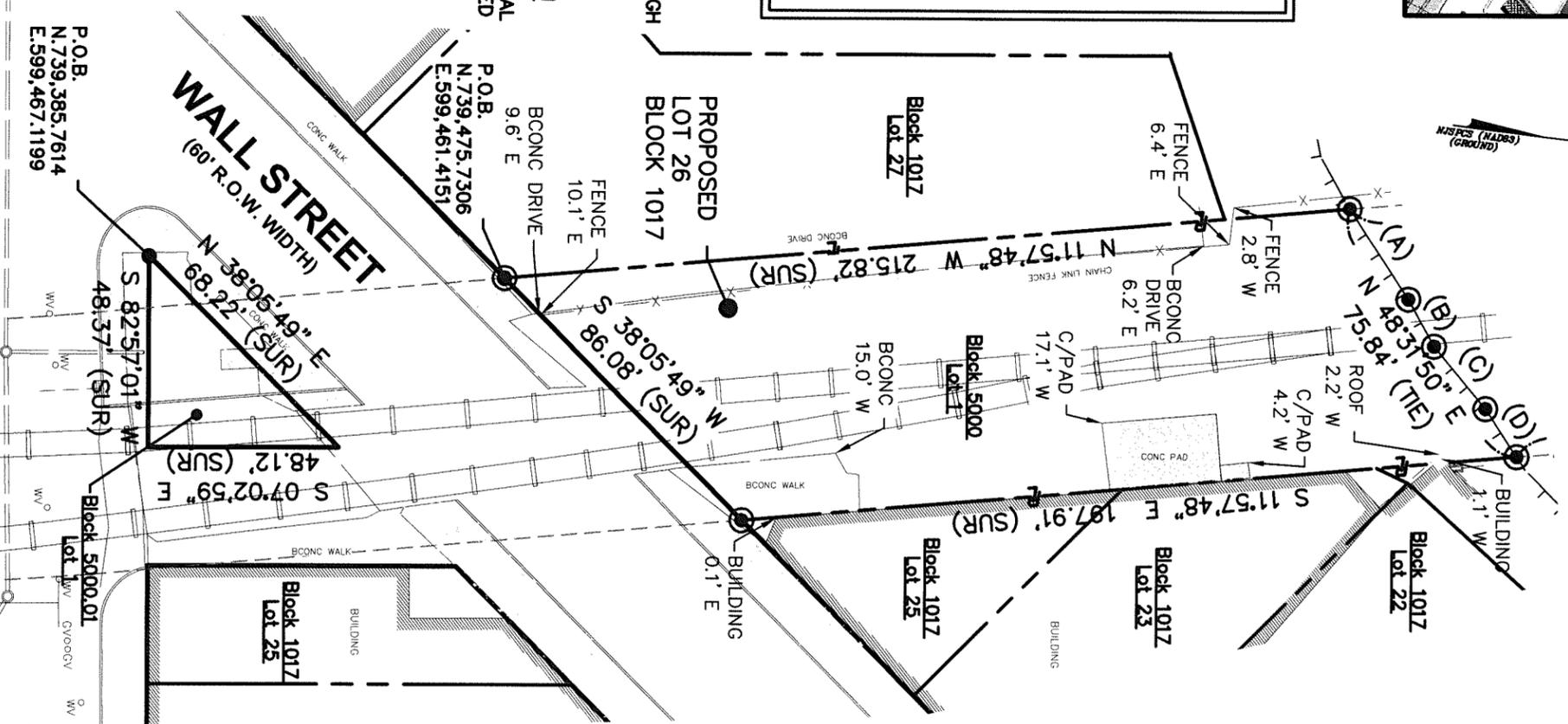
- THIS SURVEYOR IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS ARE PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR HAS NOT BEEN RETAINED TO MAKE ANY DETERMINATIONS AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THIS MATTER SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR CONDUCTED NO UNDERGROUND EXPLORATIONS. THEREFORE, ONLY THOSE PHYSICAL FEATURES WHICH WERE PLAINLY VISIBLE AT THE TIME OF THIS SURVEY ARE PORTRAYED HEREON.
- SURVEY DATA PORTRAYED HEREON IS BASED UPON FIELD OBSERVATIONS COLLECTED IN APRIL OF 2019
- BASIS FOR BEARINGS IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATE SYSTEM, UNITED STATES SURVEY FOOT, GROUND COORDINATES.
- THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH A TITLE SEARCH PROVIDED BY THE CLIENT. SEARCH PREPARED BY PASSAIC VALLEY TITLE SERVICE, INC., DATED SEPTEMBER 14, 2017. SURVEY IS SUBJECT TO SUCH FACTS AS MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH INTO THE PROPERTY-IN-QUESTION AND THE IMMEDIATE ADJOINERS.

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 40 ft.

A	N 49°21'06" E	27.36' (SUR)
B	N 53°58'21" E	13.60' (SUR)
C	N 43°01'30" E	20.52' (SUR)
D	N 49°39'41" E	14.51' (SUR)



⊙ = CAP/PIN SET JANUARY 2020

NO.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED	RELEASED

**SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD,  
CO., BLOCK 5000, LOT 1 AND BLOCK 5000.01 LOT 1**

SITUATED IN

CITY OF PASSAIC

PASSAIC COUNTY, NJ



(732) 777 8000

CONSULTING AND MUNICIPAL ENGINEERS

(732) 462 7400

JOHN H. ALGAR P.E. & P.P.

DAVID J. SMULLEN P.E. & P.P.

JOHN J. STEVANI P.E. L.S. & P.P.

JAY B. CORNELL P.E. & P.P.

MICHAEL J. MCQUELAND P.E. & P.P.

GREGORY R. VALES P.E. & P.P.

MICHAEL J. MCGURL P.L.S.

LIC. 38338

DATE 1/29/2020

FILE NO.	DRAWING NO.	REGISTERED
PYR05420.02		M.J.M.

1 OF 1

**CITY OF PASSAIC - DEVELOPMENT APPLICATION**

**Planning Board Application  
Variance and Preliminary and Final Site Plan Approval**

**1. Project Address:** N.A Block 5000.02 Lot 1

(Former New York and Greenwood Lake Railroad yard located on the corner of Passaic Street, Sixth Street and South Street.)

(Project address, lot and block number to be provided by applicant)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

**2. APPLICANT INFORMATION**

a. IF APPLICANT IS AN INDIVIDUAL: NOT APPLICABLE

Name of Corporation/Partnership: \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Facsimile \_\_\_\_\_  
Email \_\_\_\_\_

b. IF APPLICANT IS A CORPORATION or PARTNERSHIP, LLC

Name: Passaic Street Properties, LLC  
Address: 694 Main Avenue  
City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

c. CORPORATION/PARTNERSHIP REPRESENTATIVE:

Name of Representative: Fadi Samaan  
Address: 694 Main Avenue  
City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

d. List all stockowners or partners owning 10% or greater in the corporation:

Name: Fadi Samaan  
Address: 694 Main Avenue

City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Facsimile \_\_\_\_\_  
Email \_\_\_\_\_

**3. APPLICANT ATTORNEY INFORMATION:**

Name: Charles H. Sarlo, Esq.  
Address: 777 Terrace Avenue, Suite 607  
City : Hasbrouck Heights, N.J. 07604  
Telephone: 201-288-2665 Facsimile: 201-288-2662  
Email: [chslaw@optonline.net](mailto:chslaw@optonline.net)

Applicant: If you are an individual, you are not required to have an attorney represent you; however it is strongly recommended that you do retain an attorney to present your application and to preserve your interests. Please also note that should you originally elect to not have an attorney represent you, you may change your mind at any time to have an attorney represent you and have one present at your hearing. If you choose to not have an attorney represent you, then please complete the certification below.

\_\_\_\_\_, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and choose not have an attorney represent me at this time.

N.A. \_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Applicant's Printed/Typed

State of \_\_\_\_\_  
County \_\_\_\_\_  
Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

**4. EXPERT/DESIGN PROFESSIONAL/WITNESS INFORMATION:**

(Please provide a separate sheet for each individual)

Name: Osvaldo Martinez , RA.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: OMLK Architects llc.  
Address: 66 Willow Avenue, Hoboken, NJ 07030  
Telephone: 201.659.7220 Fax: NA  
E-Mail: [om@omlkarchitects.com](mailto:om@omlkarchitects.com)

Name: Patrick D. McClellan, P.E.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: MCB Engineering Associates, LLC  
Address: P.O. Box 588, 11 Furler Street, Totowa, New Jersey 07511-0588  
Phone: (973) 812-6680 Facsimile: (973) 812-6681  
Email: [pmcclellan@mcbea.com](mailto:pmcclellan@mcbea.com) –

(For each Expert, please provide a current copy of the Experts CV.)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

**5. Date property was acquired:** March 29, 2018

**6. Zoned as at time of purchase?** CR-HD

Current Zoning: Redevelopment Plan, dated November 25, 2019  
for Block 5000 Lot 1 and Block 5000.02 Lot 1

**7. Current use of Property:** Vacant / Former Railroad Storage Yard

**CITY OF PASSAIC      DEVELOPMENT APPLICATION**

**8. Proposed Use of Property:**

A mixed use development consisting of proposed commercial uses fronting Passaic Street and a total of 208 residential units located in four separate buildings.

- Building 1, fronting Passaic Street, will 52 residential units in a five story building (ground floor being commercial units and parking and floors 2-5 having residential units).
- Building Nos. 2-4, all located parallel to Building No. 1 and parallel to each other, will each have 52 residential units in five story buildings (ground floor being parking and floors 2-5 having residential units).
- The commercial spaces along Passaic Street will be occupied by uses permitted by the Commercial Zoning District of the City, as required by the said Redevelopment Plan.

**9. Is there any change in the occupancy or tenant involved with this application?**

Yes      No      Not Applicable – Property is Vacant

**10. Size of existing structure:** Not Applicable – Structures to be Demolished

Length:              Width:              Height:              # of stories:              Total sq. ft.

**11. Existing structure Setbacks:**

Front: Approx. 50 ft      Rear: Approx 30 ft      Side: Approx 10 ft      Side: Approx. 10 ft

Percentage of lot coverage Approx. 60%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space 0 % (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

**12. Size of proposed structure:**

Length: 226 ft 11 in      Width: 62 ft

Height: 56 ft.              # of stories: 5      Total sq. ft.      Approx. 232,000 sq. ft

**13. Proposed structure Setbacks:**

Front: 0 ft (Passaic Street)      Rear: 0 ft (South Street)

Side: 0 ft (Sixth Street)      Side: 3 ft (southern side of lot)

Percentage of lot coverage Approx. 49.5%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

Percentage of open space - Approx. 4.5%

(On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

**14. If variances are requested, cite any exceptional conditions preventing applicant from complying with requirements of the zoning ordinance.**

Not Applicable – No Exceptional Conditions – See Addendum to Application

**15. If a bulk variance (subsection C) is required, set forth in detail the reason why zoning relief should be granted under the Municipal Land Use law.**

See Addendum to Application

**16. If a use variance (subsection D) is required, set forth in detail the reasons.** Not Applicable

(On a separate sheets, please set fourth the positive and negative criteria required to be presented for consideration so that the Board my properly weigh the merits of the application.)

**17. Are there any:**

a. Deed restrictions on the property? Yes  No

(If yes, please attach a copy of all such deed restrictions and associated survey if applicable.)

b. Easements involved with application? Yes  No

(If yes, please attach a copy of all such easements and associated survey if applicable.)

c. Conditional contract sales agreement on property? Yes  No

d. Outstanding taxes on this property? Yes  No

(If no, please attach certification of payment from the Tax Collector.)

**18. Please complete Certification.**

Fadi Samaan, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and that all information presented in this application and all supporting documents is true and accurate.

By: \_\_\_\_\_  
Fadi Samaan, Managing Member

State of New Jersey  
County of Passaic  
Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

NOT APPLICABLE: If applicant is not the owner of the property on which the application is submitted for, owner must sign consent or applicant must provide this application with notarized letter of consent from said owner.

As owner of the property which is the subject of this application, I hereby authorize \_\_\_\_\_ to make this application on my behalf and further depose and say that all of the above statements and statements made in documents submitted herewith are true to the best of my knowledge.

By: \_\_\_\_\_

Owner's Signature

**ADDENDUM**  
**TO CITY OF PASSAIC - DEVELOPMENT APPLICATION**  
**Planning Board Application**  
**Variance and Preliminary and Final Site Plan Approval**  
**Block 5000.02 Lot 1**

Page 1 of 2

**Existing Property:**

Vacant Site. Former New York and Greenwood Lake Railroad railcar storage yard.

**Proposed Development:**

Mixed use development consisting of proposed commercial uses fronting Passaic Street and a total of 208 residential units located in four separate buildings.

- Building 1, fronting Passaic Street, will 52 residential units in a five story building (ground floor being commercial units and parking and floors 2-5 having residential units).
- Building Nos. 2-4, all located parallel to Building No. 1 and parallel to each other, will each have 52 residential units in five story buildings (ground floor being parking and floors 2-5 having residential units).
- The commercial spaces along Passaic Street will be occupied by uses permitted by the Commercial Zoning District of the City, as required by the said Redevelopment Plan.

**Applicable Zoning:**

Block 5000 Lot 1 is subject to a Redevelopment Plan, dated November 25, 2019, which was adopted by the City Council as the Zoning Ordinance for this property pursuant to the Local Housing and Redevelopment Law, N.J.S.A. 40:12A-1 *et seq.*

**Variances Required:**

- (i) side yard setback along Sixth Street (0 ft proposed and 3 ft required);
- (ii) rear yard setback along South Street (5 ft required and 0 ft proposed);
- (iii) parking stall size (9 ft x 19 ft. required and 19 ft x 8.5 ft proposed)
- (iv) parking aisle width (25 ft required and 24 ft. proposed).

The Applicant requires preliminary and final site plan approval. The proposed development will have excess parking spaces based on the parking standards set forth in the said Redevelopment Plan. The excess parking will be used to support a separate proposed development by the Applicant, located at a portion of Block 5000 Lot 1 (i.e., former New York and Greenwood Lake Railroad line) fronting Wall Street, which is proposed for development of 36 multi-family units

**Preliminary and Final Site Plan Approval Required**

**Subject to Final Rail Line Abandonment by Washington Surface Transportation Board**

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

SITE PLAN CHECKLIST § 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

\*\* Site Plan Checklist must be sealed by a NJ licensed Architect \*\*

Applicant’s Name: Passaic Street Properties, LLC

Project Address: Block 5000.02 Lot 1

(Former New York and Greenwood Lake Railroad yard located on the corner of Passaic Street, Sixth Street and South Street.)

Date of Site Plan or Latest Revision: 3/27/2020 – Architectural (3 sheets) and Engineering Drwgs.

§ 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

A. There shall be a key map showing the location of the subject property with reference to surrounding areas and existing street intersections.

XX Complete Incomplete Not Applicable

B. The proposed site plan shall show, in scale, the property lines of the entire parcel of land for which site plan approval is sought and indicate the dimensions of said property.

XX Complete Incomplete Not Applicable

C. The proposed site plan shall include the name of the applicant, the date the proposed site plan was prepared, a North arrow, the scale to which the proposed site plan is drawn, the name and seal of the person who prepared the proposed site plan, the block and lot numbers of the lands for which the site plan approval is sought as shown on the most current tax assessment maps of the City of Passaic and the names of all streets abutting such lot and block. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

D. The proposed site plan shall include the names of all owners of adjacent property, together with block and lot numbers of such property.

XX Complete Incomplete Not Applicable

E. The site plan shall show the zoning district in which the parcel is located, together with zone boundaries within 100 feet there from.

XX Complete Incomplete Not Applicable

F. The location of all existing and proposed buildings and structures on the lands for which site plan approval is sought, together with the distances of said buildings and structures from the property lines of said lands and from each other.

XX Complete Incomplete Not Applicable

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

H. A statement by the owner of whether any property adjoining the lands for which site plan approval is sought or is not owned by said owner. NO ADJOINING LAND IS OWNED BY APPLICANT

XX Complete Incomplete Not Applicable

I. The location and dimensions of all existing and proposed driveways, curb cuts, private access roads, curbing, parking areas, parking stalls, loading areas and loading bays and the location of all existing driveways within 200 feet of the lot.

XX Complete Incomplete Not Applicable

J. The proposed landscaping, screening and exterior lighting, including the location, number, size and type of existing landscaping and trees to remain; the location, number, size and type of trees, shrubs and landscaping to be installed; and the location, type, height, intensity and illumination area of any lighting to be installed.

XX Complete Incomplete Not Applicable Waived

K. Arrows, which indicate the direction of traffic on all driveways, interior drives and parking areas.

XX Complete Incomplete Not Applicable

L. The location of any existing and proposed railroad sidings, streams, drainage rights-of-way, water or other utility rights-of-way or easements.

Complete Incomplete XX Not Applicable Waived

M. Existing and proposed drainage facilities and drainage calculations.

XX Complete Incomplete Not Applicable Waived

N. Existing and proposed contour lines at two-foot intervals or a sufficient number of spot elevations. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

O. The proposed use or uses of land and buildings, together with floor space of all buildings. If the precise use of the building is unknown at the time of application, an amended plan showing the proposed use shall be required prior to issuance of a certificate of occupancy.

XX Complete Incomplete Not Applicable

P. The site plan shall show the location and design of any off-street parking areas or loading areas, showing size and location of bays, aisles and barriers. Parking stalls shall be numbered for identification. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

Q. The site plan shall show the location and type of garbage and refuse disposal facilities, including maneuvering areas.

XX Complete    Incomplete    Not Applicable    Waived

R. Where applicable, the site plan shall show the location and treatment of open space.

XX Complete    Incomplete    Not Applicable    Waived

S. Front, rear and side building elevations drawn to scale. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete    Incomplete    Not Applicable

T. Where applicable, the following information shall be provided: (1) The number of employees. (2) A narrative describing nature of operation or activities to occur on the site. (3) A narrative describing trucking on the site; number and size of trucks used in the applicant's operation; number, size and frequency of trucks making deliveries; and time of loading and unloading operations.

XX Complete    Incomplete    Not Applicable    Waived

Residential Building. First Floor is Maintenance Garage to support maintenance for building and secondary development at Sixth Street. (2-3 maintenance employees)

U. The existing and proposed sanitary sewerage. [Added 9-17-1987 by Ord. No. 990-87EN]

XX Complete    Incomplete    Not Applicable    Waived

V. The location of fire hydrants within 200 feet of site. [Added 9-17-1987 by Ord. No. 990-87]

Complete    XX Incomplete    Not Applicable    Waived

W. A place for the signatures of the Chairman and Secretary of the reviewing board. [Added 9-17-1987 by Ord. No. 990-87]

XX Complete    Incomplete    Not Applicable

X. The location of storage space for recyclables. [Added 7-7-1988 by Ord. No. 1026-88EN] (1) In residential uses, including mixed uses, the plan should show both the area within the dwelling units and the central collection area. (2) In commercial or industrial uses, in addition to showing the actual location on the site plan, the applicant must submit documentation of recyclables to be generated and the calculations which determined the floor area required.

XX Complete    Incomplete    Not Applicable    Waived

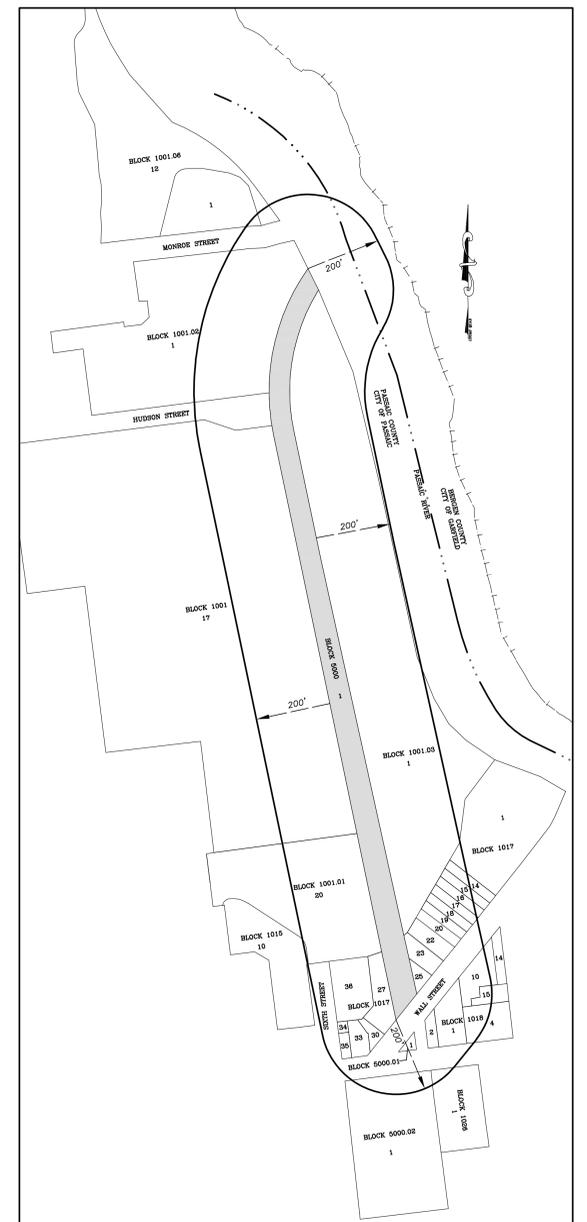
Y. Such other data or information that reasonably may be necessary for the Planning Board to meet the objectives of site plan approval in acting on a particular application.

XX Complete    Incomplete    Not Applicable

Z. The proposed site plan shall include a zoning table comparing the ordinance requirements to the proposal. XX Complete    Incomplete    Not Applicable    Waived



A	S 27°35'35" E	5.40' (SD)
B	S 30°52'46" E	34.95' (SD)
C	S 25°39'37" E	30.02' (SD)
D	S 17°37'11" E	5.35' (SD)

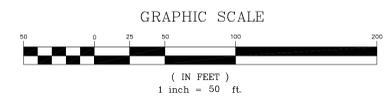


200-FOOT SURROUNDS MAP  
N.T.S.

BLOCK-LOT	OWNER	MAILING ADDRESS
1017-23	CAMACHO EZEQUIEL & FELICITA H/W	41 MAPLEWOOD AVE. CLIFTON, NJ 07011
1017-27	60WALL ST. PASSAIC LLC C/O LOTITO	PO BOX 889, CLIFFSIDE PARK, NJ 07010
1017-25	ABASI ALI R	105 OVERLOOK RD. POMONA, NY 10970
1018-15	MASNY JAN & MASNY STASIA	39 WALL ST. PASSAIC, NJ 07055
1017-34	ALLEN DEXTER	192 SIXTH ST. PASSAIC, NJ 07055
1018-10	MASNY JAN & W	35 WALL ST. PASSAIC, NJ 07055
1017-36	HOUSING AUTH OF CITY OF PASSAIC	32 ASPEN PL. PASSAIC, NJ 07055
1018-4	SINGH HARBIHAJAN & ETALS	476 COLLINS AVE. HASBROUCK HEIGHTS, NJ 07064
1017-33	100 PASSAIC ST PARTNERS LLC	PO BOX 387, CEDARHURST, NY 11516
1018-2	141 THIRD ST LLC	141 THIRD ST. PASSAIC, NJ 07055
1017-35	VAZQUEZ ENTERPRISES LLC	42 EDWARD CT. CLIFTON, NJ 07011
1018-1	43 PROSPECT PL. BELLEVILLE, NJ 07109	
1026-1	ROSEN, MARVIN & SAUNDRA H/W	17 MAPLEWOOD DR. PARSIPPANY, NJ 07054
5000.02-1	PASSAIC ST PROPERTIES LLC	694 MAIN ST. PASSAIC, NJ 07055
1017-30	WALL STREET PASSAIC LLC	71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640
1017-30-B01	WALL STREET PASSAIC LLC	71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640
1017-30-B02	WALL STREET PASSAIC LLC	71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640
5000.01-1	PASSAIC ST PROPERTIES LLC	694 MAIN ST. PASSAIC, NJ 07055

**LEGEND**

- N 60°32'02" W 192.66' (SUR) = Survey Metes & Bounds
- N 60°32'02" W 192.66' (SD) = Sub-Division Metes & Bounds
- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water
- = Property in Question Lot Line
- = Existing Right-of-Way Line
- = Existing Lot Line
- = Former Lot Line
- = Existing Easement Line
- = Monument Found
- = Iron Pipe/Capped Pin Found
- = Capped Pin Set
- = Concrete Marker Set



MATCH LINE (SHEET 1)

DESCRIPTION OF REVISION: SURVEY & MINOR SUB-DIVISION OF LANDS N/F PASSAIC ST. PROPERTIES LLC. BLOCK 5000, LOT 1. PREPARED FOR CITY OF PASSAIC. SITUATED IN PASSAIC COUNTY, NJ.

ASSOCIATES CONSULTING AND MUNICIPAL ENGINEERS (732) 442 7400

3441 BORDENTOWN AVENUE, PARLIN, NEW JERSEY 08859-1962 | 1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-9194

JOHN H. ALGAR P.E. & P.P.	DAVID J. SAMUEL P.E. & P.P.	JOHN J. STEFANI P.E. L.S. & P.P.
JAY B. CORNELL P.E. & P.P.	MICHAEL J. MCCLELLAND P.E. & P.P.	GREGORY R. VALESI P.E. & P.P.

MICHAEL J. McCGURL P.L.S. NEW JERSEY PROFESSIONAL LAND SURVEYOR LIC. 38338

**PRELIMINARY** DATE 12/02/19

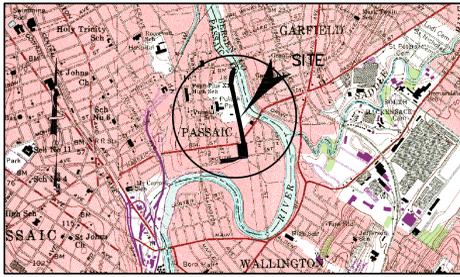
SCALE: 1"=50' DATE: DECEMBER 2019

CHECKED BY: MLD DESIGNED BY: MLD

CHECKED BY: M.J.M. SHEET 2 OF 2

FILE NO. P:YR05420.01 DRAWING NO. 2-0

File Path: G:\SPRINGS\05-2019\05-2019-01\Land\Subdivision.dwg



LOCATION MAP - USC&G QUAD  
SCALE 1 : 2,000

CITY OF PASSAIC ZONING SCHEDULE

ZONE: CR-HD (3) MIXED COMMERCIAL-RESIDENTIAL STRUCTURES

LOT INFORMATION

Proposed Lot 21 Block 1001.01 - Area = 5,577 SF +/-  
 Proposed Lot 22 Block 1001.01 - Area = 12,225 SF +/-  
 Proposed Lot 26 Block 1017 - Area = 13,622 SF +/-  
 Owners Passaic St. Properties LLC  
 Address: 694 Main Street, Passaic, NJ, 07055  
 Existing Use: Former Railroad

	Req.	Provided	Variance Req.
MINIMUM LOT AREA (Sq. Ft.)	10,000	5,577 (Lot 21) 12,225 (Lot 22) 13,622 (Lot 26)	Y N N
MIN. LOT WIDTH (Feet)	75	66 (Lot 21) 66 (Lot 22) 66 (Lot 26)	Y Y Y
MIN. LOT DEPTH (Feet)	100	84.38 (Lot 21) 184.87 (Lot 22) 206.86 (Lot 26)	Y N N
MIN. FRONT YARD (Feet)	0	0 (Lot 21) 0 (Lot 22) 0 (Lot 26)	N N N
MIN. SIDE YARD (Feet)	-	- (Lot 21) - (Lot 22) - (Lot 26)	N N N
MIN. REAR YARD (Feet)	10	10 (Lot 21) 10 (Lot 22) 10 (Lot 26)	N N N
MAX. LOT COVERAGE (Percent)	50/30	N/A (Lot 21) N/A (Lot 22) N/A (Lot 26)	N N N
MAX. HEIGHT (Stories/Feet)	-	N/A (Lot 21) N/A (Lot 22) N/A (Lot 26)	N N N
MAX DENSITY (DWELLING UNITS PER Ac.)	60	N/A (Lot 21) N/A (Lot 22) N/A (Lot 26)	N N N
MIN. OPEN SPACE	-	- (Lot 21) - (Lot 22) - (Lot 26)	N N N
DENSITY FAR	3	N/A (Lot 21) N/A (Lot 22) N/A (Lot 26)	N N N

\* PROPOSED LOTS 21, 22, & 26 TO BE MERGED INTO LOT 26.01 BLOCK 1017

ZONE: R-3 (1-FAMILY DWELLING)

LOT INFORMATION

Proposed Lot 2 Block 1001.03 - Area = 101,388 SF +/-  
 Owners Passaic St. Properties LLC  
 Address: 694 Main Street, Passaic, NJ, 07055  
 Existing Use: Former Railroad

	Req.	Provided	Variance Req.
MINIMUM LOT AREA (Sq. Ft.)	3,000	101,388	N
MIN. LOT WIDTH (Feet)	30	66	N
MIN. LOT DEPTH (Feet)	100	1,537	N
MIN. FRONT YARD (Feet)	20	20	N
MIN. SIDE YARD (Feet)	3/8	3/8	N
MIN. REAR YARD (Feet)	25	25	N
MAX. LOT COVERAGE (Percent)	40	N/A	N
MAX HEIGHT (Stories/Feet)	3/35	N/A	N
MAX DESSITY (DWELLING UNITS PER Ac.)	-	N/A	N
MIN. OPEN SPACE	-	N/A	N
DENSITY FAR	-	N/A	N

LEGEND

- N 60°32'02" W 192.66' (SUR) = Survey Metes & Bounds
- N 60°32'02" W 192.66' (SD) = Sub-Division Metes & Bounds
- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water
- = Property in Question Lot Line
- = Existing Right-of-Way Line
- = Existing Lot Line
- = Former Lot Line
- = Existing Easement Line
- = Monument Found
- = Iron Pipe/Capped Pin Found
- = Capped Pin Set
- = Concrete Marker Set

REFERENCES:

- RIGHT OF WAY & TRACK MAP-BERGEN & DUNDEE RAILROAD CO., OPERATED BY ERIE RAILROAD CO. STATION 610-66 TO STATION 702-89, VALUATION MAP NO. 8, DATED JUNE 1918, REVISED THROUGH FEB 1976.
- NJ BUREAU OF TIDELANDS CLAIMS ATLAS SHEET NO. 735-2148.
- THIS MAP WAS DEVELOPED USING GEOGRAPHIC INFORMATION SYSTEM DIGITAL DATA DEVELOPED UNDER THE AUSPICES OF THE BUREAU OF TIDELANDS MANGEMENT, NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUT THIS SECONDARY PRODUCT HAS NOT BEEN VERIFIED BY NJDEP AND IS NOT STATE-AUTHORIZED.
- DEED BOOK H-13 PG. 311

NOTES:

- THIS SURVEYOR IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS ARE PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR HAS NOT BEEN RETAINED TO MAKE ANY DETERMINATIONS AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THIS MATTER SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR CONDUCTED NO UNDERGROUND EXPLORATIONS. THEREFORE, ONLY THOSE PHYSICAL FEATURES WHICH WERE PLAINLY VISIBLE AT THE TIME OF THIS SURVEY ARE PORTRAYED HEREON.
- SURVEY DATA PORTRAYED HEREON IS BASED UPON FIELD OBSERVATIONS COLLECTED IN OCTOBER & NOVEMBER OF 2018.
- THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH A TITLE SEARCH PROVIDED BY THE CLIENT. SEARCH PREPARED BY PASSAIC VALLEY TITLE SERVICE, INC., DATED SEPTEMBER 14, 2017. SURVEY IS SUBJECT TO SUCH FACTS AS MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH INTO THE PROPERTY-IN-QUESTION AND THE IMMEDIATE ADJOINERS.
- BASIS FOR BEARINGS IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATE SYSTEM, UNITED STATES SURVEY FOOT.
- RECORD TITLE DOCUMENTS PROVIDED BY CLIENT OR CLIENT'S REPRESENTATIVE.

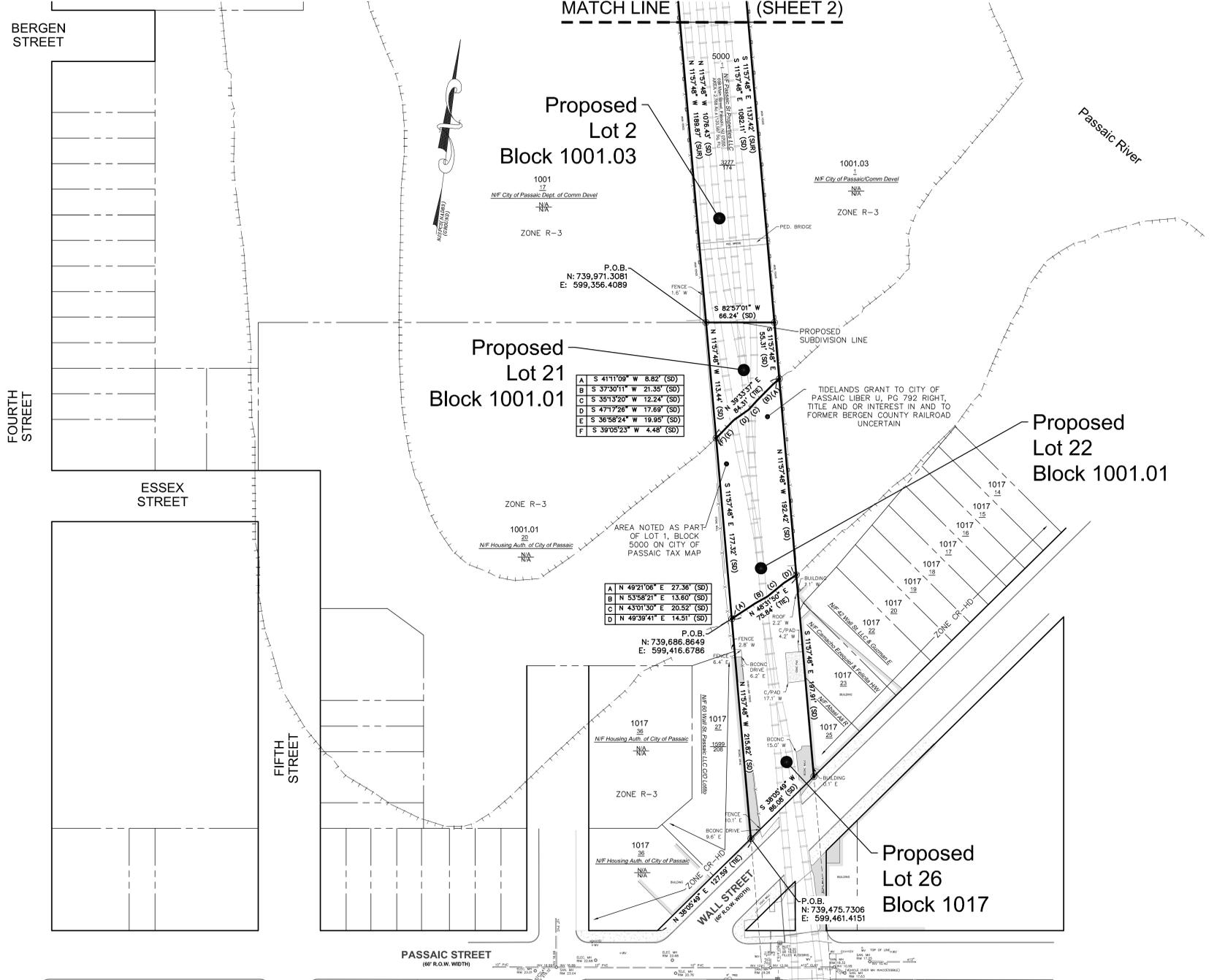
PASSAIC ST. PROPERTIES LLC HEREBY DECLARES THAT THEY ARE THE OWNERS OF ALL THE LANDS BEING SUBDIVIDED BY THIS MAP AND HEREBY CONSENTS TO THE FILING OF THIS SUBDIVISION WITH THE CITY OF PASSAIC PLANNING BOARD

REPRESENTATIVE FOR PASSAIC ST. PROPERTIES LLC DATE

THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE CITY OF PASSAIC IS THE "PROPER AUTHORITY" AND, HAVING REVIEWED THIS MAP, FINDS IT TO BE IN COMPLIANCE WITH THE "MAP FILING LAW" AND ALL LOCAL ORDINANCES APPLICABLE THERETO AND HAS APPROVED THIS MAP FOR FILING IN THE OFFICE OF THE CLERK OF PASSAIC COUNTY ON OR BEFORE THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2020. AFTER THIS DATE MUNICIPAL APPROVAL SHALL EXPIRE.

MUNICIPAL CLERK OR SECRETARY OF THE PLANNING BOARD DATE

CHAIRMAN OF THE PLANNING BOARD DATE

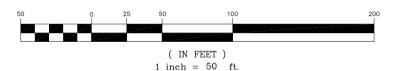


OWNER:  
PASSAIC ST. PROPERTIES LLC  
694 MAIN ST., PASSAIC, N.J., 07055

APPLICANT:  
CITY OF PASSAIC  
PASSAIC, N.J., 07055

\*LOTS 21 & 22, BLOCK 1001.01, AND LOT 26, BLOCK 1017 TO BE MERGED INTO LOT 26.01, BLOCK 1017 AFTER SUBDIVISION

GRAPHIC SCALE



I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JANUARY 11, 2019 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER  
CITY OF PASSAIC

MICHAEL J. MCGURL P.L.S.  
PROFESSIONAL LAND SURVEYOR  
N.J. LICENSE NO. 38338

NO.	DESCRIPTION OF REVISION	DATE	DRAWN	CHECKED	RELEASED
SURVEY & MINOR SUB-DIVISION OF LANDS N/F PASSAIC ST. PROPERTIES LLC. BLOCK 5000, LOT 1 PREPARED FOR <b>CITY OF PASSAIC</b> SITUATED IN CITY OF PASSAIC PASSAIC COUNTY, NJ					
(732) 727 8000 CONSULTING AND MUNICIPAL ENGINEERS (732) 462 7400 3441 BORDENTOWN AVENUE, PARLIN, NEW JERSEY 08859-1902 1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-9194					
JOHN H. ALGAR P.E. & P.P.	DAVID J. SAMUEL P.E. & P.P.	JOHN J. STEFANI P.E. L.S. & P.P.			
JAY B. CORNELL P.E. & P.P.	MICHAEL J. MCGURL P.E. & P.P.	GREGORY R. VALES P.E. & P.P.			
<b>MICHAEL J. MCGURL P.L.S.</b> NEW JERSEY PROFESSIONAL LAND SURVEYOR LIC. 38338					
<b>PRELIMINARY</b> DATE 12/02/19					

DRAWING NO. P.YR05420.01

**CITY OF PASSAIC - DEVELOPMENT APPLICATION**

**Planning Board Application  
Subdivision, Preliminary and Final Site Plan Approval, Parking Variance**

**1. Project Address:** N.A Block 5000 Lot 1

(Project address, lot and block number to be provided by applicant)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

**2. APPLICANT INFORMATION**

a. IF APPLICANT IS AN INDIVIDUAL: NOT APPLICABLE

Name of Corporation/Partnership: \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Facsimile \_\_\_\_\_  
Email \_\_\_\_\_

b. IF APPLICANT IS A CORPORATION or PARTNERSHIP, LLC

Name: Passaic Street Properties, LLC  
Address: 694 Main Avenue  
City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

c. CORPORATION/PARTNERSHIP REPRESENTATIVE:

Name of Representative: Fadi Samaan  
Address: 694 Main Avenue  
City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

d. List all stockowners or partners owning 10% or greater in the corporation:

Name: Fadi Samaan  
Address: 694 Main Avenue  
City: Passaic State: N.J. Zip: 07055  
Telephone: 973-931-6733 Facsimile: NA  
Email [fsamaan@aol.com](mailto:fsamaan@aol.com)

**CITY OF PASSAIC      DEVELOPMENT APPLICATION**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Telephone \_\_\_\_\_ Facsimile \_\_\_\_\_  
Email \_\_\_\_\_

**3. APPLICANT ATTORNEY INFORMATION:**

Name: Charles H. Sarlo, Esq.  
Address: 777 Terrace Avenue, Suite 607  
City : Hasbrouck Heights, N.J. 07604  
Telephone: 201-288-2665      Facsimile: 201-288-2662  
Email: [chslaw@optonline.net](mailto:chslaw@optonline.net)

Applicant: If you are an individual, you are not required to have an attorney represent you; however it is strongly recommended that you do retain an attorney to present your application and to preserve your interests. Please also note that should you originally elect to not have an attorney represent you, you may change your mind at any time to have an attorney represent you and have one present at your hearing. If you choose to not have an attorney represent you, then please complete the certification below.

\_\_\_\_\_, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and choose not have an attorney represent me at this time.

N.A. \_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Applicant's Printed/Typed

State of \_\_\_\_\_  
County \_\_\_\_\_  
Sworn to and subscribed before me  
this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

**4. EXPERT/DESIGN PROFESSIONAL/WITNESS INFORMATION:**

(Please provide a separate sheet for each individual)

Name: Osvaldo Martinez , RA.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: OMLK Architects llc.  
Address: 66 Willow Avenue, Hoboken, NJ 07030  
Telephone: 201.659.7220 Fax: NA  
E-Mail: [om@omlkarchitects.com](mailto:om@omlkarchitects.com)

Name: Patrick D. McClellan, P.E.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: MCB Engineering Associates, LLC  
Address: P.O. Box 588, 11 Furler Street, Totowa, New Jersey 07511-0588  
Phone: (973) 812-6680 Facsimile: (973) 812-6681  
Email: [pmcclellan@mcbea.com](mailto:pmcclellan@mcbea.com) –

(For each Expert, please provide a current copy of the Experts CV.)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

**5. Date property was acquired:** March 29, 2018

**6. Zoned as at time of purchase?** CR-HD

Current Zoning: Redevelopment Plan, dated November 25, 2019  
for Block 5000 Lot 1 and Block 5000.02 Lot 1

**7. Current use of Property:** Vacant / Railroad Spur

**8. Proposed Use of Property:**

5 story, 36 multi-family residential structure with first floor maintenance storage

CITY OF PASSAIC DEVELOPMENT APPLICATION

9. Is there any change in the occupancy or tenant involved with this application?

Yes No Not Applicable – Property is Vacant

10. Size of existing structure: Not Applicable – Vacant Property

Length: Width: Height: # of stories: Total sq. ft.

11. Existing structure Setbacks: Not Applicable – Vacant Property

Front: Rear: Side: Side:

Percentage of lot coverage %

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space % (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

12. Size of proposed structure:

Length: 179 ft 10 in Width: 54 ft 8 in.

Height: 54 ft. # of stories: 5 Total sq. ft. 47, 36 sq. ft

13. Proposed structure Setbacks:

Front: 7 ft Rear: 5 ft Side: 3 ft Side: 3 ft

Percentage of lot coverage 69.5%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space 26.9% (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

14. If variances are requested, cite any exceptional conditions preventing applicant from complying with requirements of the zoning ordinance.

Property in Flood Area. Parking cannot be located on Site. See Addendum to Application.

15. If a bulk variance (subsection C) is required, set forth in detail the reason why zoning relief should be granted under the Municipal Land Use law.

See Addendum to Application

16. If a use variance (subsection D) is required, set forth in detail the reasons. Not Applicable

(On a separate sheets, please set fourth the positive and negative criteria required to be presented for consideration so that the Board my properly weigh the merits of the application.)

**CITY OF PASSAIC      DEVELOPMENT APPLICATION**

**17. Are there any:**

a. Deed restrictions on the property? Yes     No

(If yes, please attach a copy of all such deed restrictions and associated survey if applicable.)

b. Easements involved with application? Yes     No

(If yes, please attach a copy of all such easements and associated survey if applicable.)

c. Conditional contract sales agreement on property?  Yes    No

(If yes, please attach a copy of the contract.) - Applicant is the Property Owner. Application includes a subdivision. There is a Contract between the Applicant and the City of Passaic for the City to purchase approximately 2.455 acres of Block 5000 Lot 1, after the subdivision

d. Outstanding taxes on this property?    Yes     No

(If no, please attach certification of payment from the Tax Collector.)

**18. Please complete Certification.**

Fadi Samaan, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and that all information presented in this application and all supporting documents is true and accurate.

By: \_\_\_\_\_

Applicant's Signature

Fadi Samaan

Applicant's Printed/Typed Name

State of \_\_\_\_\_

County

Sworn to and subscribed before me

this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

NOT APPLICABLE: If applicant is not the owner of the property on which the application is submitted for, owner must sign consent or applicant must provide this application with notarized letter of consent from said owner.

As owner of the property which is the subject of this application, I hereby authorize

\_\_\_\_\_ to make this application on my behalf and further depose and say that all of the above statements and statements made in documents submitted herewith are true to the best of my knowledge.

By: \_\_\_\_\_

Owner's Signature

**ADDENDUM**  
**TO CITY OF PASSAIC - DEVELOPMENT APPLICATION**  
**Planning Board Application**  
**Subdivision, Preliminary and Final Site Plan Approval, Parking Variance**  
**Block 5000 Lot 1**

Page 1 of 2

**Existing Property:**

Vacant Site with railroad tracks. Former New York and Greenwood Lake Railroad, which consists, in relevant part, the rail spur running from Wall Street in a northerly direction, to the City of Passaic – City of Garfield border. The entire rail spur is identified as Block 5000 Lot 1.

**Proposed Subdivision: (Proposed Lot / Block Numbers Established by City's Tax Assessor)**

The Applicant desires to subdivide this Block 5000 Lot 1 as follows:

- (i) the southern most portion bounded on the south by the northern side of Wall Street for an approximate distance to the north of 215 ft (western property line) and 197 ft (eastern property line), totaling approximately 13,222 sq. ft, which is designated as proposed Lot 26 in Block 1017 (post subdivision); and
- (ii) the northern most portion of Block 5000 Lot 1 from the City of Passaic – City of Garfield border to a certain Tidelands line to the south, being approximately 2.455 acres, which is designated as proposed Lot 2 in Block 100.03 and proposed Lot 21 in Block 1001.01 (post subdivision).

There exists a portion of Block 5000 Lot 1, located to the north of proposed Lot 26 in Block 1017, that the City of Passaic acquired via a Tidelands Grant from the State of New Jersey, many years prior. This Tidelands Lot is proposed to be designated as Lot 22 in Block 1001.01. Subsequent to the subdivision approval, the northern most portion of Block 5000 Lot 1 (i.e., approximately 2.455 acres) is intended to be sold by the Applicant to the City of Passaic. The City intends to develop these lots as part of its public park system. These proposed lots will be merged with the Tidelands Lot to create a singular, proposed Lot 26.01 in Block 1017.

**Proposed Development: (proposed Lot 26 in Block 1017 (post subdivision))**

5-story multi-family structure, which is proposed to have a total of 36 residential units (12 – 1-bedroom units and 24 – 2-bedroom units) to be located on the second through the fifth floor. The ground / first floor will contain a maintenance garage to house maintenance equipment for the subject Property, as well as a lobby for the residential units.

**Applicable Zoning:**

Block 5000 Lot 1 is subject to a Redevelopment Plan, dated November 25, 2019, which was adopted by the City Council as the Zoning Ordinance for this property pursuant to the Local Housing and Redevelopment Law, N.J.S.A. 40:12A-1 *et seq.*

**ADDENDUM**  
**TO CITY OF PASSAIC - DEVELOPMENT APPLICATION**  
**Planning Board Application**  
**Subdivision, Preliminary and Final Site Plan Approval, Parking Variance**  
**Block 5000 Lot 1**

**Page 2 of 2**

**Variances Required:**

1. Parking Variance - §317-25.C of the City's Zoning Code requires all parking spaces to be located on the same lot as the principal use. Pursuant to the said Redevelopment Plan, the proposed development requires 25 on-site parking spaces (0.6 spaces for 1-bedroom units and 0.75 spaces for 2-bedroom units). No on-site parking is being proposed and, thus, a parking variance is required.

However, the Applicant, by a separate land use development application, is seeking approval to develop Block 5000.02 Lot 1 (the former New York and Greenwood Lake Railroad yard (located on the corner of Passaic Street, Sixth Street and South Street) for mixed use, commercial and multi-family residential. The proposed development at Passaic Street, Sixth Street and South Street, will have excess on-site parking, which will be able to fully satisfy the parking requirement of the proposed development, which is the subject of this application.

**Preliminary and Final Site Plan Approval Required**

**Subject to Final Rail Line Abandonment by Washington Surface Transportation Board**

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

SITE PLAN CHECKLIST § 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

\*\* Site Plan Checklist must be sealed by a NJ licensed Architect \*\*

Applicant's Name: Passaic Street Properties, LLC

Project Address: Southern Portion of Block 5000 Lot 1

Date of Site Plan or Latest Revision: 3/30/2020 – Architectural (3 sheets) and Engineering Drwgs.

§ 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

A. There shall be a key map showing the location of the subject property with reference to surrounding areas and existing street intersections.

XX Complete      Incomplete      Not Applicable

B. The proposed site plan shall show, in scale, the property lines of the entire parcel of land for which site plan approval is sought and indicate the dimensions of said property.

XX Complete      Incomplete      Not Applicable

C. The proposed site plan shall include the name of the applicant, the date the proposed site plan was prepared, a North arrow, the scale to which the proposed site plan is drawn, the name and seal of the person who prepared the proposed site plan, the block and lot numbers of the lands for which the site plan approval is sought as shown on the most current tax assessment maps of the City of Passaic and the names of all streets abutting such lot and block. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete      Incomplete      Not Applicable

D. The proposed site plan shall include the names of all owners of adjacent property, together with block and lot numbers of such property.

XX Complete      Incomplete      Not Applicable

E. The site plan shall show the zoning district in which the parcel is located, together with zone boundaries within 100 feet there from.

XX Complete      Incomplete      Not Applicable

F. The location of all existing and proposed buildings and structures on the lands for which site plan approval is sought, together with the distances of said buildings and structures from the property lines of said lands and from each other.

XX Complete      Incomplete      Not Applicable

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

H. A statement by the owner of whether any property adjoining the lands for which site plan approval is sought or is not owned by said owner. NO ADJOINING LAND IS OWNED BY APPLICANT

XX Complete Incomplete Not Applicable

I. The location and dimensions of all existing and proposed driveways, curb cuts, private access roads, curbing, parking areas, parking stalls, loading areas and loading bays and the location of all existing driveways within 200 feet of the lot.

XX Complete Incomplete Not Applicable

J. The proposed landscaping, screening and exterior lighting, including the location, number, size and type of existing landscaping and trees to remain; the location, number, size and type of trees, shrubs and landscaping to be installed; and the location, type, height, intensity and illumination area of any lighting to be installed.

XX Complete Incomplete Not Applicable Waived

K. Arrows, which indicate the direction of traffic on all driveways, interior drives and parking areas.

XX Complete Incomplete Not Applicable

L. The location of any existing and proposed railroad sidings, streams, drainage rights-of-way, water or other utility rights-of-way or easements.

Complete Incomplete XX Not Applicable Waived

M. Existing and proposed drainage facilities and drainage calculations.

XX Complete Incomplete Not Applicable Waived

N. Existing and proposed contour lines at two-foot intervals or a sufficient number of spot elevations. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

O. The proposed use or uses of land and buildings, together with floor space of all buildings. If the precise use of the building is unknown at the time of application, an amended plan showing the proposed use shall be required prior to issuance of a certificate of occupancy.

XX Complete Incomplete Not Applicable

P. The site plan shall show the location and design of any off-street parking areas or loading areas, showing size and location of bays, aisles and barriers. Parking stalls shall be numbered for identification. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

**CITY OF PASSAIC DEVELOPMENT APPLICATION**

Q. The site plan shall show the location and type of garbage and refuse disposal facilities, including maneuvering areas.

XX Complete    Incomplete    Not Applicable    Waived

R. Where applicable, the site plan shall show the location and treatment of open space.

XX Complete    Incomplete    Not Applicable    Waived

S. Front, rear and side building elevations drawn to scale. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete    Incomplete    Not Applicable

T. Where applicable, the following information shall be provided: (1) The number of employees. (2) A narrative describing nature of operation or activities to occur on the site. (3) A narrative describing trucking on the site; number and size of trucks used in the applicant's operation; number, size and frequency of trucks making deliveries; and time of loading and unloading operations.

XX Complete    Incomplete    Not Applicable    Waived

Residential Building. First Floor is Maintenance Garage to support maintenance for building and secondary development at Sixth Street. (2-3 maintenance employees)

U. The existing and proposed sanitary sewerage. [Added 9-17-1987 by Ord. No. 990-87EN]

XX Complete    Incomplete    Not Applicable    Waived

V. The location of fire hydrants within 200 feet of site. [Added 9-17-1987 by Ord. No. 990-87]

Complete    XX Incomplete    Not Applicable    Waived

W. A place for the signatures of the Chairman and Secretary of the reviewing board. [Added 9-17-1987 by Ord. No. 990-87]

XX Complete    Incomplete    Not Applicable

X. The location of storage space for recyclables. [Added 7-7-1988 by Ord. No. 1026-88EN] (1) In residential uses, including mixed uses, the plan should show both the area within the dwelling units and the central collection area. (2) In commercial or industrial uses, in addition to showing the actual location on the site plan, the applicant must submit documentation of recyclables to be generated and the calculations which determined the floor area required.

XX Complete    Incomplete    Not Applicable    Waived

Y. Such other data or information that reasonably may be necessary for the Planning Board to meet the objectives of site plan approval in acting on a particular application.

XX Complete    Incomplete    Not Applicable

Z. The proposed site plan shall include a zoning table comparing the ordinance requirements to the proposal. XX Complete    Incomplete    Not Applicable    Waived