

1. Agenda

Documents:

[APRIL_15_2020_PB_VIRTUAL_SPECIAL_MEETING.PDF](#)

2. Meeting Materials

Documents:

[3971 SITE PLAN 2020-03-27 \[SIXTH STREET\].PDF](#)

[3971 SITE PLAN 2020-03-27 \[WALL STREET\].PDF](#)

[BL5000 L1.PDF](#)

[BL5000.01 L1.PDF](#)

[SIXTH STREET APPLICATION.DOCX](#)

[SUBDIVISION E-SIZE \(1\).PDF](#)

[SUBDIVISION E-SIZE \(2\).PDF](#)

[WALL STREET APPLICATION.DOCX](#)

CITY OF PASSAIC PLANNING BOARD

AGENDA

The Planning Board will hold a special meeting virtually on **Wednesday, April 15th, 2020** at 6:30 p.m. via ZOOM:

<https://us04web.zoom.us/j/457291308?pwd=aGlGNzZFSWkyYkFocXlnVVZpT1lCZz09>

Meeting ID: 457 291 308

Password: 978178

One tap mobile

+16465588656,,457291308# US (New York)

Dial by your location

+1 646 558 8656 US (New York)

Meeting ID: 457 291 308

Find your local number: <https://us04web.zoom.us/u/f89fe3eoT>

to consider the following:

1. Docket #PB20-06- Sixth Street, Passaic Street & South Street, Block #5000.02, Lot #1 in the CR-HD Zone District, applicant Passaic Street Properties LLC is requesting preliminary & final site plan approval for the proposed development of a mixed used property consisting of commercial property fronting Passaic Street, and 208 residential units located in four (4) separate buildings. Building #1 fronting Passaic Street will have 52 residential units in a five (5) story building (ground floor being commercial units & parking and floors 2-5 residential units). Buildings #2-4 all located parallel to Building #1, and parallel to each other, will each have 52 residential units in five (5) story buildings (ground floor being commercial units & parking and floors 2-5 residential units). This property will have excess parking which will support a separate application by the applicant (PB20-07). This application will require variances for side yard setback on Sixth Street, rear yard setback along South Street, parking stall size and parking aisle width and any other variances and/or waivers that may be required. This property was named an area of need of Redevelopment. **FIRST APPEARANCE.**

2. Docket #PB20-07- Wall Street &, Block #5000, Lot #1 in the CR-HD Zone District, applicant Passaic Street Properties LLC is requesting Subdivision Approval and preliminary & final site plan approval. The applicant proposes to develop proposed lot 26 block 1017 (post subdivision) with a five (5) story multi-family structure which will consist of a total of thirty-six (36) residential units (12 one (1) bedroom units and 24 two (2) bedroom units) to be located on the 2nd thru 5th floor. The first/ground floor will contain a maintenance garage that will house maintenance equipment for the property and a lobby for the residential units. Applicant is also requesting a minor subdivision of Block 5000 Lot 1, which will allow a portion to be developed as noted above and the balance to be sold to the "City". This application will require a parking variance which will be satisfied with excess parking in the previous application PB20-07 and any other variances and/or waivers that may be required. This property was named an area of need of Redevelopment. **FIRST APPEARANCE.**

MINUTES FOR APPROVAL:

3. March 4th, 2020

A copy of said applications and documents are on file with the Administrative Officer, Municipal Land Use Law, Passaic City Hall, Room 205, 330 Passaic Street, Passaic, NJ. Any interested party may inspect these records during normal business hours. Please call 973-859-1344 to schedule an inspection.

Miriam R. Perez

Board Secretary

Municipal Land Use Law

PROPERTY OWNERS WITHIN 200- FEET

| BLOCK | LOT | PROPERTY OWNER | BLOCK | LOT | PROPERTY OWNER |
|---------|--------|--|---------|-------|---|
| 1001 | 17 | CITY OF PASSAIC DEPT OF COMM DEVEL 330 PASSAIC ST PASSAIC, N.J. 07055 | 1026 | 20 | KRAJEWSKI T & ELZBIETA & L. JABLONSKA 171 EIGHTH ST PASSAIC, N.J. 07055 |
| 1001.01 | 20 | HOUSG AUTH OF THE CITY OF PASSAIC 333 PASSAIC ST PASSAIC, N.J. 07055 | 1026 | 22 | ALCJZ, BRUNCIK & W 160 CENTER ST. CLIFTON, N.J. 07011 |
| 1001.02 | 1 | RIVERVIEW RLTY ASSOC. PASSAIC LLC 54 MAIN STREET HACKENSACK, NJ 07601 | 1026 | 24 | DCN 1 PROPERTY LLC 54 CALUMET AVE OAKLAND NJ 07436 |
| 1001.03 | 1 | CITY OF PASSAIC/COMM DEPT 330 PASSAIC ST PASSAIC, N.J. 07055 | 1026 | 26 | 52 54 BARBOUR STREET LLC PO BOX 232 PARAMUS, NJ 0765 |
| 1001.06 | 1 | HOUSG AUTH OF THE CITY OF PASSAIC 158 ASPEN PL PASSAIC, N.J. 07055 | 1026 | 27 | MERCURY PLASTIC BAG CO INC 158 SEVENTH STREET PASSAIC, N.J. 07055 |
| 1001.06 | 12 | CITY OF PASSAIC/DEPT COMM DEVEL 330 PASSAIC ST PASSAIC, N.J. 07055 | 1026 | 28 | SECOND TIMOTHY BAP CH OF PASSAIC NJ 163 1/2 EIGHTH ST PASSAIC, N.J. 07055 |
| 1015 | 3 | 116 PASSAIC STREET LLC 156 HIGHLAND AVE CLIFTON, NJ 07011 | 1026 | 30 | ESCOBAR JORGE & MARIA H/W 161 8TH STREET APT. 2 PASSAIC NJ 07055 |
| 1015 | 4 | MF REAL ESTATE HOLDINGS INC 560 MCKINLEY ST PASSAIC NJ 07055 | 1026 | 31 | VALDEZ JUANA & VALDEZ POMPEYO 66 SOUTH STREET PASSAIC NJ 07055 |
| 1015 | 5 | 112 PASSAIC REALTY LLC 350 MONROE ST PASSAIC NJ 07055 | 1027 | 1 | 65 SOUTH REALTY 65 SOUTH ST. PASSAIC NJ 07055 |
| 1015 | 6 | LIN YAN 358 LAFAYETTE AVE. PASSAIC NJ 07055 | 1027 | 2 | POLANCO JUAN & JULISSA GARCIA 159 EIGHTH ST PASSAIC NJ 07055 |
| 1015 | 7 | LAS CINCO FLORES LLC 108 PASSAIC ST PASSAIC NJ 07055 | 1027 | 4 | WALIS, WANDA 157 8TH STREET PASSAIC, N.J. 07055 |
| 1015 | 8 | MONTIEL MANUEL 128 SPRING ST PASSAIC NJ 07055 | 1027 | 6 | FARFAN MIGUEL 155 8TH ST PASSAIC NJ 07055 |
| 1015 | 10 | HOUSING AUTH OF CITY OF PASSAIC 52 ASPEN PL. PASSAIC, N.J. 07055 | 1027 | 8 | 153 8TH ST HOLDINGS LLC PO BOX 1504 PATERSON NJ 07509 |
| 1017 | 1 | HOLY ROSARY POLISH CATH CH 2 WALL ST PASSAIC, N.J. 07055 | 1027 | 10 | ORTIZ CONCEPTION 131 EIGHTH ST PASSAIC NJ 07055 |
| 1017 | 14 | KRAJEWSKI EMIL & WIFE 31 SANFORD ST CLIFTON N J 07011 | 1030 | 1 | 101 SEVENTH ST LLC 101 7TH ST PASSAIC NJ 07055 |
| 1017 | 15 | ODUSOLA AYODELE 4 LINDEN AVE WEST ORANGE NJ 07052 | 1030 | 4 | PLATINUM REALTY GROUP ASSOC LLC 79 SOUTH ST PASSAIC NJ 07055 |
| 1017 | 16 | AGUIRRE CESAR 100 8TH ST PASSAIC NJ 07055 | 1030 | 15 | 99 SOUTH PASSAIC LLC 99 SOUTH ST. PASSAIC NJ 07055 |
| 1017 | 17 | CEDENO WILSON 68 CENTRAL AVE PASSAIC NJ 07055 | 1032 | 3 | 123 PASSAIC REALTY LLC 158 BEAUMONT ST BROOKLYN NY 11235 |
| 1017 | 18 | KARIM MOHAMMAD & SHAD MOHAMMAD 38 HINES ST MAHAH NJ 07430 | 1032 | 4 | MARTI, CAMELIA 121 PASSAIC ST PASSAIC N J 07055 |
| 1017 | 19 | MASNY JAN & STASIA H/W 35 WALL ST PASSAIC NJ 07055 | 1032 | 5 | VALDEZ POMPEYO & JUANA H/W 119 PASSAIC ST PASSAIC NJ 07055 |
| 1017 | 20 | CITY OF PASSAIC 40 WALL ST. PASSAIC NJ 07055 | 1032 | 6 | CASTRO, RAFAEL P.O. BOX 391 PASSAIC, NJ. 07055 |
| 1017 | 22 | 42 WALL ST LLC & GUZMAN E 44 WALL ST PASSAIC NJ 07055 | 1032 | 7 | 261-263 REALTY LLC 560 MCKINLEY ST PASSAIC NJ 07055 |
| 1017 | 23 | CAMACHO EZEQUIEL & FELICITA H/W 41 MAPLEWOOD AVE CLIFTON NJ 07011 | 1032 | 8 | MALDONADO JOSIE L 2300 EMERALD SPRINGDR. LAWRENCEVILLE GA 30045 |
| 1017 | 25 | ABASI ALI R 105 OVERLOOK RD POMONA NY 10970 | 1032 | 8-801 | MALDONADO MARIAN 2820 EMERALD SPRINGDR. LAWRENCEVILLE GA 30045 |
| 1017 | 27 | 60 WALL ST.PASSAIC LLC C/O LOTITO PO BOX 889 CLIFFSIDE PARK NJ 07010 | 1032 | 9 | MF REAL ESTATE HOLDING INC 560 MCKINLEY ST PASSAIC NJ 07055 |
| 1017 | 30 | WALL STREET PASSAIC LLC 71 MT VERNON ST RIDGEFIELD PARK NJ 07860 | 1032 | 10 | LOPEZ, ERCILO & W 71 MT VERNON ST PASSAIC, N.J. 07055 |
| 1017 | 30-801 | 71 WALL STREET PASSAIC LLC 71 MT VERNON ST RIDGEFIELD PARK NJ 07860 | 1032 | 11 | 20 FIFTH ST LLC PO BOX 1068 FAIR LAWN NJ 07410 |
| 1017 | 30-802 | 71 WALL STREET PASSAIC LLC 71 MT VERNON ST RIDGEFIELD PARK NJ 07860 | 1032 | 13 | HIGHPOINT PROPERTIES LLC 71 MT VERNON ST RIDGEFIELD PARK NJ 07860 |
| 1017 | 33 | 100 PASSAIC ST PARTNERS LLC PO BOX 387 CEDARHURST NJ 11516 | 1032 | 14 | ZUNIGA, FIDEL & JUANA, H/W 167 6TH ST. PASSAIC, N.J. 07055 |
| 1017 | 34 | ALLEN DEXTER 192 SIXTH ST PASSAIC NJ 07055 | 1032 | 16 | SANCHEZ, GABRIEL & REYNA H/W 17 OREGON DR. CLIFTON, N J 07013 |
| 1017 | 35 | VAZQUEZ ENTERPRISES LLC 62 EDWARD CT CLIFTON NJ 07011 | 1032 | 17 | LEAL MOISES 14 FIFTH ST PASSAIC, NJ 07055 |
| 1017 | 36 | HOUSING AUTH OF CITY OF PASSAIC 52 ASPEN PL PASSAIC, N.J. 07055 | 1032 | 18 | CRUZ JESSICA 183 PASSAIC ST PASSAIC NJ 07055 |
| 1018 | 1 | 141 THIRD ST LLC 63 PROSPECT PL BELLVILLE NJ 07109 | 1032 | 19 | 12 FIFTH ST LLC PO BOX 1068 FAIR LAWN NJ 07410 |
| 1018 | 2 | 141 THIRD ST LLC 141 THIRD ST PASSAIC NJ 07055 | 1032 | 20 | CRUZ JULIO 161 SIXTH ST PASSAIC NJ 07055 |
| 1018 | 4 | SINGH HARBAJAN & ETALS 476 COLLINS AVE. HASBROUCK HEIGHTS N.J. 07064 | 1032 | 21 | ESCAMILLA CONSTANTINO & H/W 15 FIFTH ST PASSAIC NJ 07055 |
| 1018 | 10 | MASNY, JAN & W 35 WALL ST PASSAIC, N.J. 07055 | 1032 | 22 | TAUBER, ERNEST JR. 183 OAK AVE WYCKOFF, NJ 07481 |
| 1018 | 15 | MASNY, JAN & W 35 WALL ST. PASSAIC, N.J. 07055 | 1032 | 23 | C F MORALES LLC 130 RAMAPO VALLY RD. MAHAH NJ 07430 |
| 1026 | 1 | ROSSEN, MARVIN & SANDRA H/W 17 MAPLEWOOD DRIVE PARSHIPPANY, N.J. 07054 | 5000 | 1 | PASSAIC ST PROPERTIES LLC 694 MAIN ST PASSAIC NJ 07055 |
| 1026 | 5 | HAKRAMA SHEFIK 51 LAKEVIEW AVE CLIFTON, NJ 07011 | 5000.01 | 1 | PASSAIC ST PROPERTIES LLC 694 MAIN ST PASSAIC NJ 07055 |
| 1026 | 6 | BIRKNER CHRISTOPHER & SANDRA P.O. BOX 4155 CLIFTON NJ 07012 | 5000.02 | 1 | PASSAIC ST PROPERTIES LLC 694 MAIN ST PASSAIC NJ 07055 |
| 1026 | 7 | PODOLAK IWONA 85 PASSAIC ST. PASSAIC, NJ. 07055 | 5000.03 | 1 | PASSAIC ST PROPERTIES LLC 694 MAIN ST PASSAIC NJ 07055 |
| 1026 | 8 | PASSAIC ESTATES LLC 83 PASSAIC ST PASSAIC NJ 07055 | | | |
| 1026 | 12 | CARDENAS, JOSE 261 CYPRESS AVE BOGOTA, NJ 07063 | | | |
| 1026 | 14 | DOMINGUEZ, ADELAI DA 12 N MAIN AVE. MAIDEN N.C. 28650 | | | |
| 1026 | 16 | PUZIO JANINA & RAYMOND S.PUZIO 175 EIGHTH ST PASSAIC NJ 07055 | | | |
| 1026 | 18 | BF GILL LLC 106 CRESCENT AVE PASSAIC NJ 07055 | | | |
| 1026 | 19 | MERCURY PLASTIC BAG CO INC 168 SEVENTH ST PASSAIC, N.J. 07055 | | | |

UTILITIES

| | | | | |
|--|--|---|---|---|
| PASSAIC COUNTY UTILITY AUTHORITY 401 GRAND STREET PATERSON, NJ 07505 (973) 881-2822 | PASSAIC VALLEY WATER COMMISSION 1525 MAIN AVENUE CLIFTON, NJ 07011 (973) 340-4300 | PUBLIC SERVICE ELECTRIC & GAS CO. 80 PARK PLAZA NEWARK NJ 07101 (973) 430-7000 | BELL ATLANTIC 1500 TEANECK ROAD TEANECK, NEW JERSEY 07666 | CABLEVISION 40 POT ASH ROAD OAKLAND, NJ 07055 (973) 569-4040 |
|--|--|---|---|---|

PRELIMINARY AND FINAL SITE PLAN

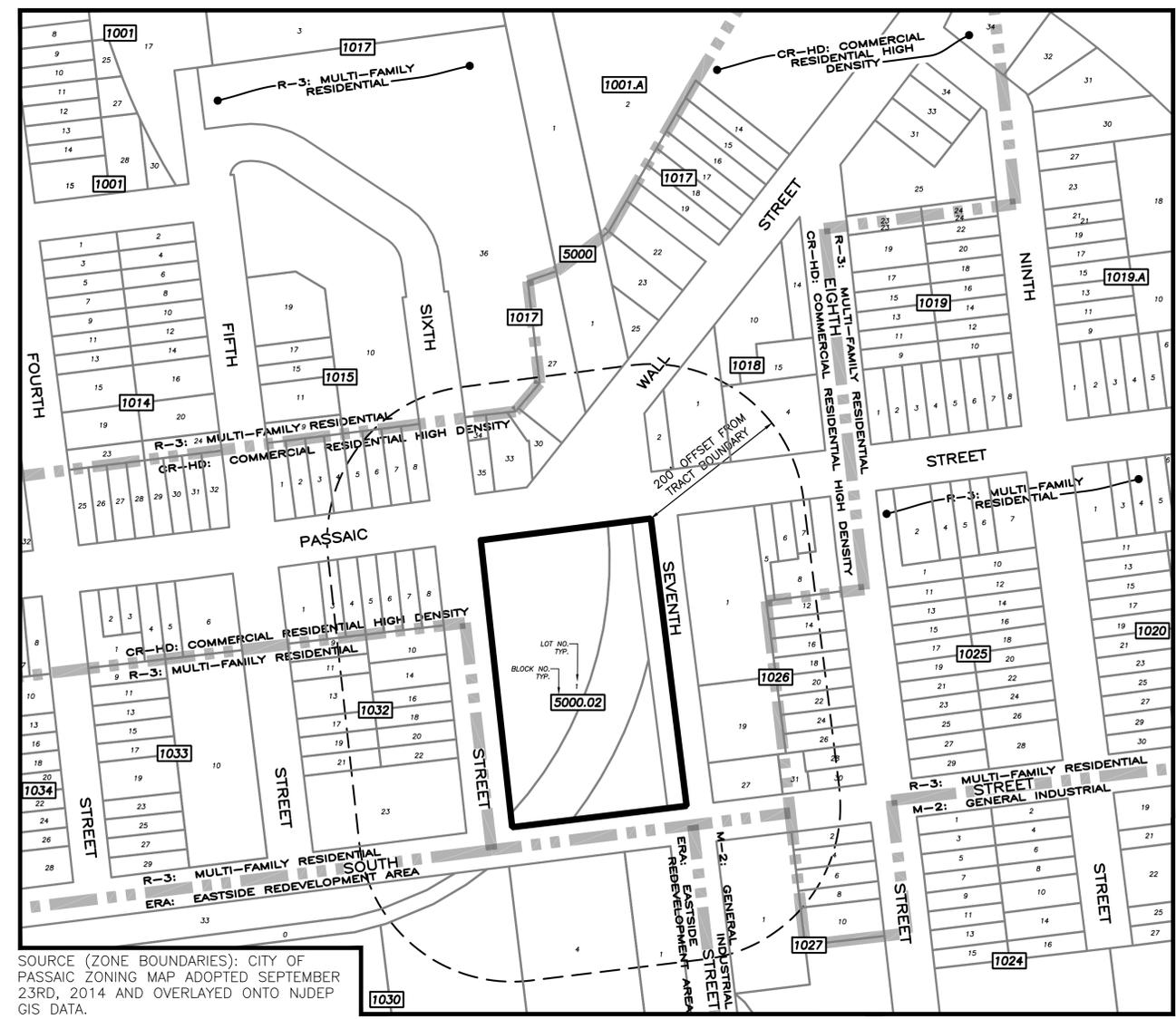
FOR

The Station at Passaic

11 PASSAIC STREET

BLOCK 5000.02, LOT 1

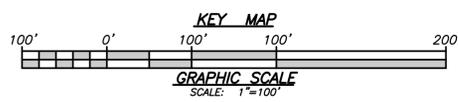
PASSAIC CITY, PASSAIC COUNTY, NEW JERSEY



SOURCE (ZONE BOUNDARIES): CITY OF PASSAIC ZONING MAP ADOPTED SEPTEMBER 23RD, 2014 AND OVERLAYED ONTO NJDEP GIS DATA.

BLOCK 5000 LOT 1 AND BLOCK 5000.02 LOT 1 ARE THE FOCUS OF A REDEVELOPMENT PLAN DATED NOVEMBER 25, 2019.

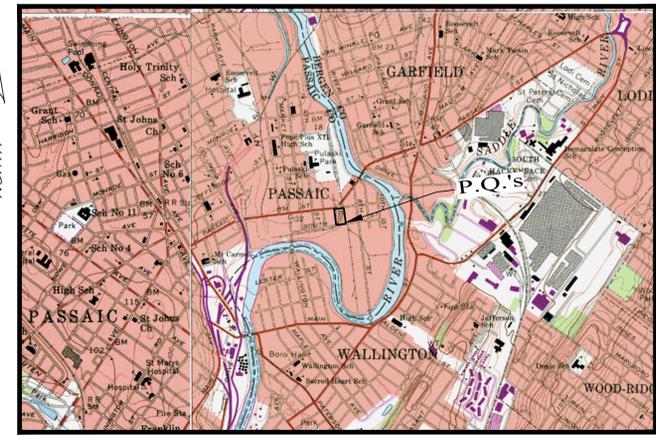
OWNER/APPLICANT:
PASSAIC STREET PROPERTIES, LLC,
694 MAIN AVENUE
PASSAIC NJ 07055



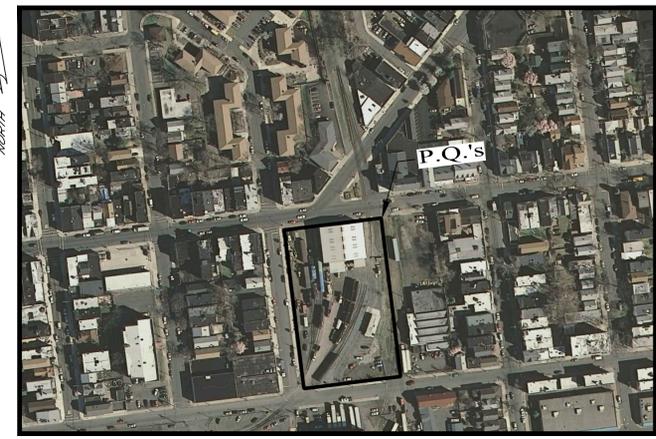
- AGENCY APPROVALS:**
- CITY OF PASSAIC LAND USE BOARD
 - PASSAIC COUNTY PLANNING BOARD
 - HUDSON/ESSEX/PASSAIC SCD
 - NJDEP-DLUR (FLOOD HAZARD)
 - NJDEP-TWA (SANITARY SEWER)
 - NJDEP-BSDW (WATER MAIN EXTENSION)

MCB ENGINEERING ASSOCIATES, L.L.C.
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681
Email: mcb@mcbeas.com - Certificate of Authorization No. 24G428108300

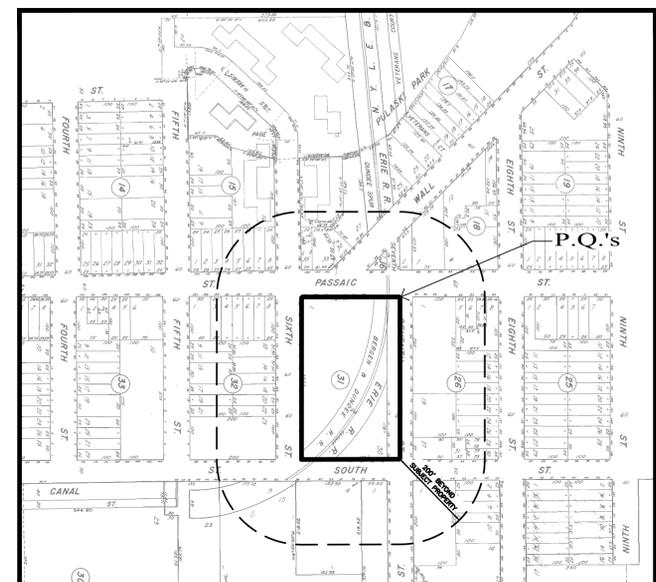
MARCH 27, 2020



USGS MAP - ORANGE & WEEHAWKEN QUADRANGLES
SCALE: 1"=2000±



2015 AERIAL PHOTO LOCATION MAP
SCALE: 1"=200±



TAX MAP (SHEET 12, CITY OF PASSAIC)
SCALE: 1"=200±

LIST OF DRAWINGS

- TITLE PAGE
- SITE DIMENSION PLAN
- GRADING & UTILITY PLAN
- SOIL EROSION AND SEDIMENT CONTROL PLAN
- LIGHTING & LANDSCAPING PLAN
- ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 1)
- ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 2)
- Z-1: GROUND LEVEL PLAN - BUILDINGS # 1 & # 2
- Z-2: GROUND LEVEL PLAN - BUILDING # 3
- Z-3: TYPICAL FLOOR PLAN @ BUILDINGS # 1 - # 4 (2ND - 5TH FLOORS), GROUND LEVEL PLAN - BUILDING # 4
- Z-4: PASSAIC STREET ELEVATION - BUILDING # 1, SEVENTH STREET (FORMER) ELEVATION - BUILDING # 1, SIXTH STREET ELEVATION - BUILDING # 1
- Z-5: INTERIOR REAR ELEVATION - BUILDING # 1
- Z-6: INTERIOR BUILDING ELEVATION - BUILDINGS # 2 & # 3, SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 2 & # 3, SIXTH STREET ELEVATION - BUILDINGS # 2 & # 3
- Z-7: SOUTH STREET ELEVATION - BUILDING # 4, SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 4, SIXTH STREET ELEVATION - BUILDING # 4
- PROPOSED SIXTH STREET PERSPECTIVE, BIRD'S EYE VIEW & CORNER PERSPECTIVE

CITY OF PASSAIC LAND USE BOARD
THIS PLAN IS APPROVED BY THE CITY OF PASSAIC PLANNING BOARD / ZONING BOARD ON _____ DATE _____

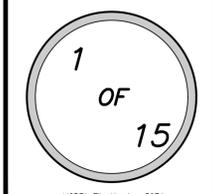
| | |
|--------------------|------|
| CHAIRMAN | DATE |
| SECRETARY | DATE |
| MUNICIPAL ENGINEER | DATE |

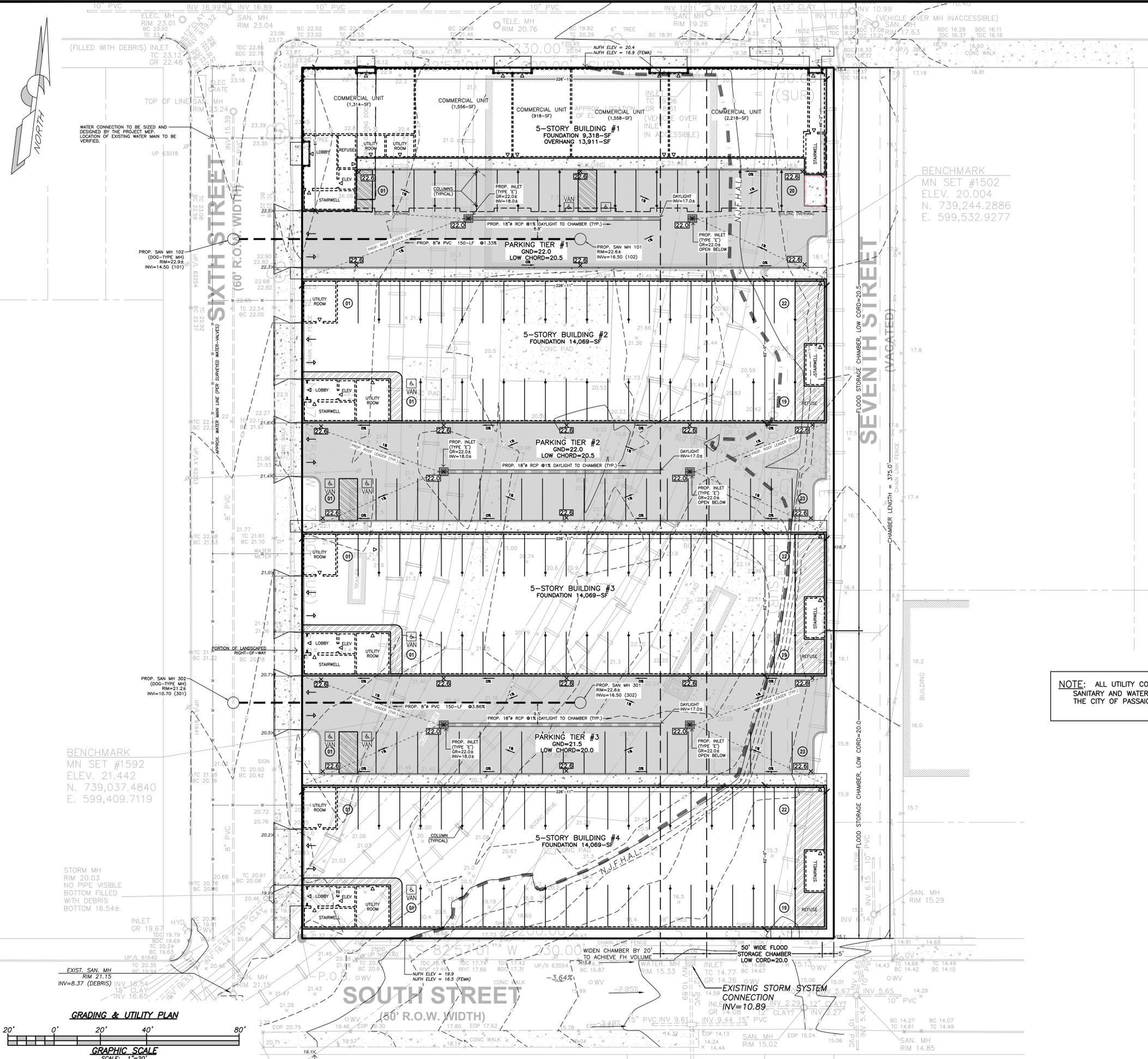
| | |
|---------------------|-----------|
| DRAWING NO. 1 of 15 | |
| PROJECT NO. 3971 | |
| DATE 03/27/20 | NOTED |
| BY PLH | PDMC |
| CHECKED BY | PLH |
| TITLE PAGE | REVISIONS |
| DATE | DATE |

THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY REVISIONS MUST BE APPROVED BY THE ENGINEER AND COORDINATED WITH THE PROJECT TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.

MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681
Email: mcb@mcbeas.com - Certificate of Authorization No. 24G428108300

MATTHEW G. CLARK
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY, LICENSE NO. 12-00000000000000000000





GENERAL NOTES / REFERENCES

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAC STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANNING INFORMATION FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAC, PASSAC COUNTY, N.J. BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANNING INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAC, PASSAC COUNTY, NEW JERSEY TAX BLOCK/LOT: 5000/1" BY BEAUM SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAC STREET & SIXTH STREET PASSAC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC. DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FP) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ABUTTING PROPOSED PAVEMENT SURFACE.
- FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
- PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER ACCESS TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
- TBY = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.

WATER DEMAND AND SANITARY SEWER PROJECTED FLOWS

WATER DEMAND, RSIS NJAC 5:21-5.2, TABLE 5.1 (PDF PG. 69 OF 143)

DEFINITION: GARDEN STYLE UNIT

| | | | | |
|------------|------------------|-----------|--------------|-----------------------|
| 2-BEDROOM | 175 GAL/DAY/2-BR | 208 UNITS | 175x208 = | 36,400 GAL/DAY |
| COMMERCIAL | 0.1 GAL/DAY/SF | 9,318-SF | 0.1x9,318 = | 932 GAL/DAY |
| | | | TOTAL | 37,332 GAL/DAY |

PROPOSED WATER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

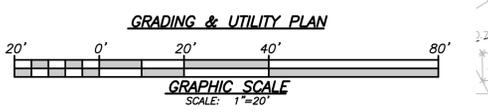
SANITARY SEWER PROJECTED FLOW, NJAC 7:14A-23.3(c) (PDF PG. 2 OF 43)

DEFINITION: RESIDENTIAL DWELLING

| | | | | |
|------------|------------------|-----------|--------------|-----------------------|
| 2-BEDROOM | 225 GAL/DAY/2-BR | 208 UNITS | 225x208 = | 46,800 GAL/DAY |
| COMMERCIAL | 0.1 GAL/DAY/SF | 9,318-SF | 0.1x9,318 = | 932 GAL/DAY |
| | | | TOTAL | 47,732 GAL/DAY |

PROPOSED SANITARY SEWER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

NOTE: ALL UTILITY CONNECTIONS, INCLUDING STORM, SANITARY AND WATER TO BE COORDINATED WITH THE CITY OF PASSAC ENGINEERING DEPARTMENT.



THE STATION AT PASSAC
BLOCK 5000.02 - LOT 1
CITY OF PASSAC
PASSAC COUNTY, NEW JERSEY

drawing no. 3 of 15

project no. 3971

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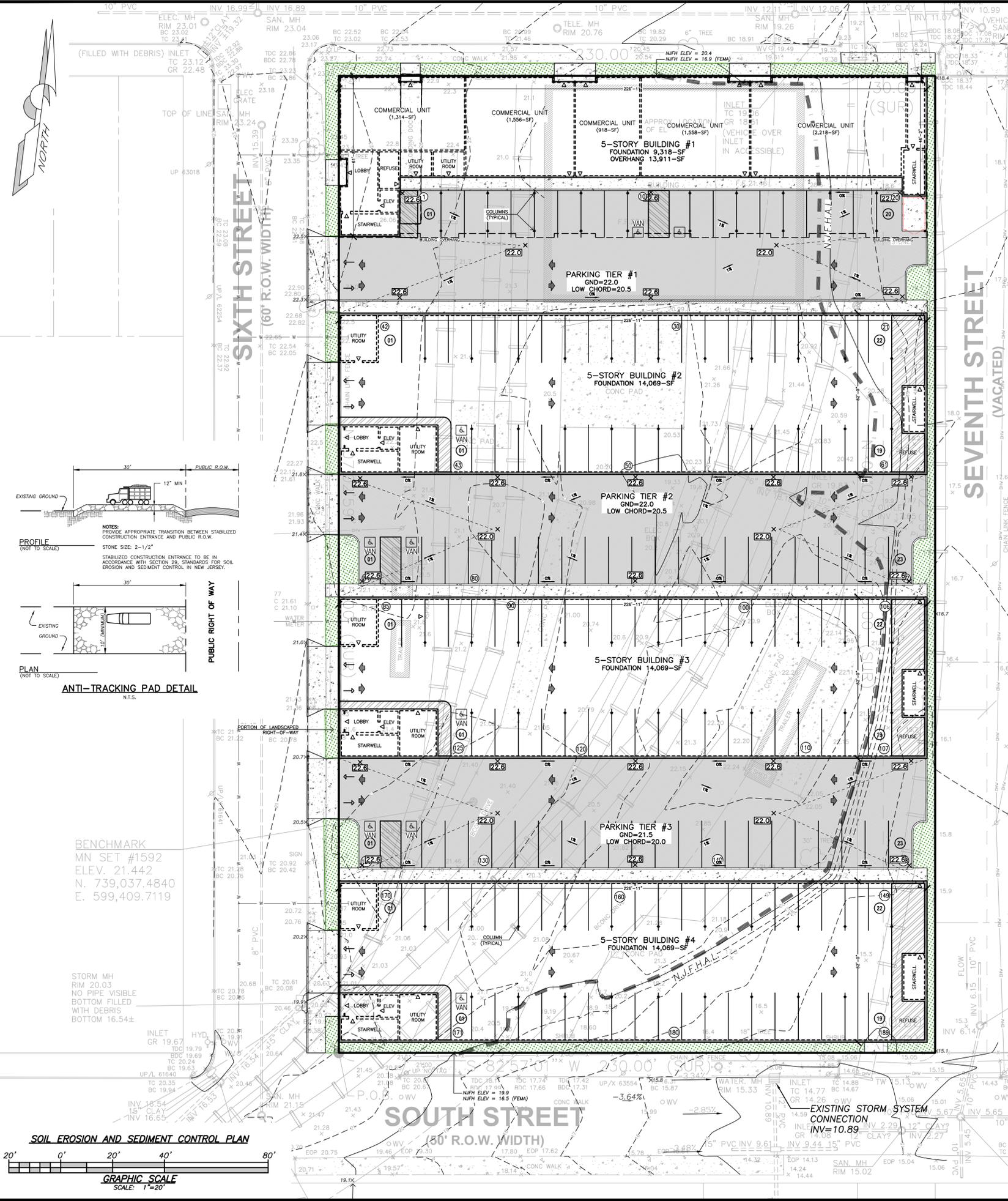
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SEEDING NOTES

1. TOPSOIL STOCKPILE PROTECTION
 1. CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
 2. APPLY LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
 4. APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F.
 6. PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCT 1, IF POSSIBLE.
2. TEMPORARY STABILIZATION SPECIFICATIONS
 1. APPLY TOPSOIL TO A DEPTH OF 4".
 2. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F. AND WORK INTO SOIL 4" DEEP.
 3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
 4. APPLY PERENNIAL RYEGRASS AT 40 LBS/ACRE AND ANNUAL RYEGRASS AT 40 LBS/ACRE OR A PERENNIAL RYEGRASS AT 10 LBS/ACRE AND ANNUAL RYEGRASS AT 25 LBS/ACRE, RED FESCUE AT 15 LBS/ACRE, AND SPREADING FESCUE AT 15 LBS/ACRE OR APPROVAL EQUAL.
 5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 6. PLANT SEED BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1, IF POSSIBLE. PLANT BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1.
3. PERMANENT STABILIZATION SPECIFICATIONS
 1. APPLY TOPSOIL TO A DEPTH OF 4".
 2. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 3. APPLY FERTILIZER (10-20-10) AT A RATE OF 14 LBS/1000 S.F.
 4. APPLY SEED MIXTURE:
 - PERENNIAL RYEGRASS AT 10 LBS/ACRE, KENTUCKY BLUEGRASS AT 25 LBS/ACRE, RED FESCUE AT 15 LBS/ACRE, AND SPREADING FESCUE AT 15 LBS/ACRE OR APPROVAL EQUAL.
 5. MULCH WITH UNROTTED SALT HAY OR SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F. AND SECURE BY APPROVED METHODS (I.E. PEG AND TWINE, OR MULCH NETTING). OTHER APPROVED METHODS (I.E. PEG AND TWINE, OR MULCH NETTING) MAY BE USED, IF POSSIBLE, PLANT BETWEEN MARCH 1 AND MAY 15, OR BETWEEN AUGUST 15 AND OCTOBER 1.

DUST CONTROL NOTES:

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)
 - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL EROSION STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP FERTILIZER OFF THESE AREAS.
- TABLE 16: DUST CONTROL MATERIALS**
- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS / ACRE |
|--|----------------|---|----------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SEDIMENT BASINS TO POLYACRYLAMIDE (PAM) - COLLOIDS. | | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. SPRAY ON MAY ALSO BE USED AS AN ADDITIVE TO | |
| ACIDULATED SOY BEAN SOAP STOCK | NONE | COARSE SPRAY | 1200 |
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- SIDE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- (STANDARDS FOR SEK SC IN NJ, 16-01, JULY, 1999.)

SOIL COMPACTION EXEMPTION NOTE:

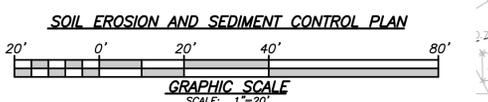
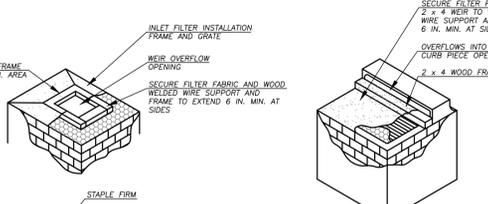
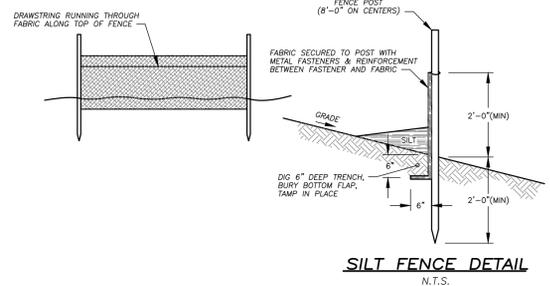
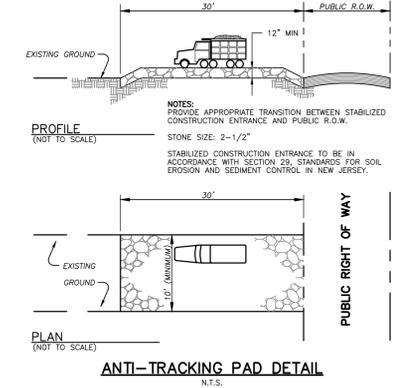
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODED VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON-WOODED VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NUDEP AS "PREVIOUSLY DEVELOPED".

HUDSON-ESSEX PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY COVERED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSDC: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1.
4. SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
5. ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
6. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRASS STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
8. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
9. THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION. GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
12. ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
13. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
14. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
15. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.
16. PER THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) GIS DATA SET:
 - h4bb = HASBROUCK SILT LOAM, 0 TO 8 PERCENT SLOPES/VERY STONY (H2-0)
 - USONB = URBAN LAND-BOONTON COMPLEX, 0 TO 8 PERCENT SLOPES (H2-C)
17. AREA OF DISTURBANCE = 250,100 SF OR 5.74 ACRES.

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION CONTROL DEVICES INCLUDING SILT FENCE AND ANTI-TRACKING PAD. (1 DAY)
 2. REMOVE EXISTING SITE IMPROVEMENTS AS NEEDED (2 WEEKS)
 3. ROUGH GRADE SITE (2 WEEKS)
 4. INSTALL PROPOSED UTILITIES, INCLUDING STORM WATER MANAGEMENT SYSTEM (2 MONTHS)
 5. BEGIN BUILDING CONSTRUCTION WITH ALL UTILITY CONNECTIONS. (9 MONTHS)
 6. CONSTRUCT FINAL GRADING OF SITE, INSTALL LANDSCAPING AND FINAL STABILIZATION OF LAWN AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM OF FOUR (4) INCHES. (5 DAYS)
 7. PERMANENTLY STABILIZE ALL DISTURBED AREAS AND REMOVE ALL SOIL EROSION CONTROL DEVICES
- TENTATIVE START DATE FOR CONSTRUCTION: JUNE 2020



THE STATION AT PASSAIC
BLOCK 5000.02 - LOT 1
CITY OF PASSAIC
PASSAIC COUNTY, NEW JERSEY

SOIL EROSION AND SEDIMENT CONTROL PLAN

Project No. 3971
Date: 03/27/20
Scale: 1"=20'

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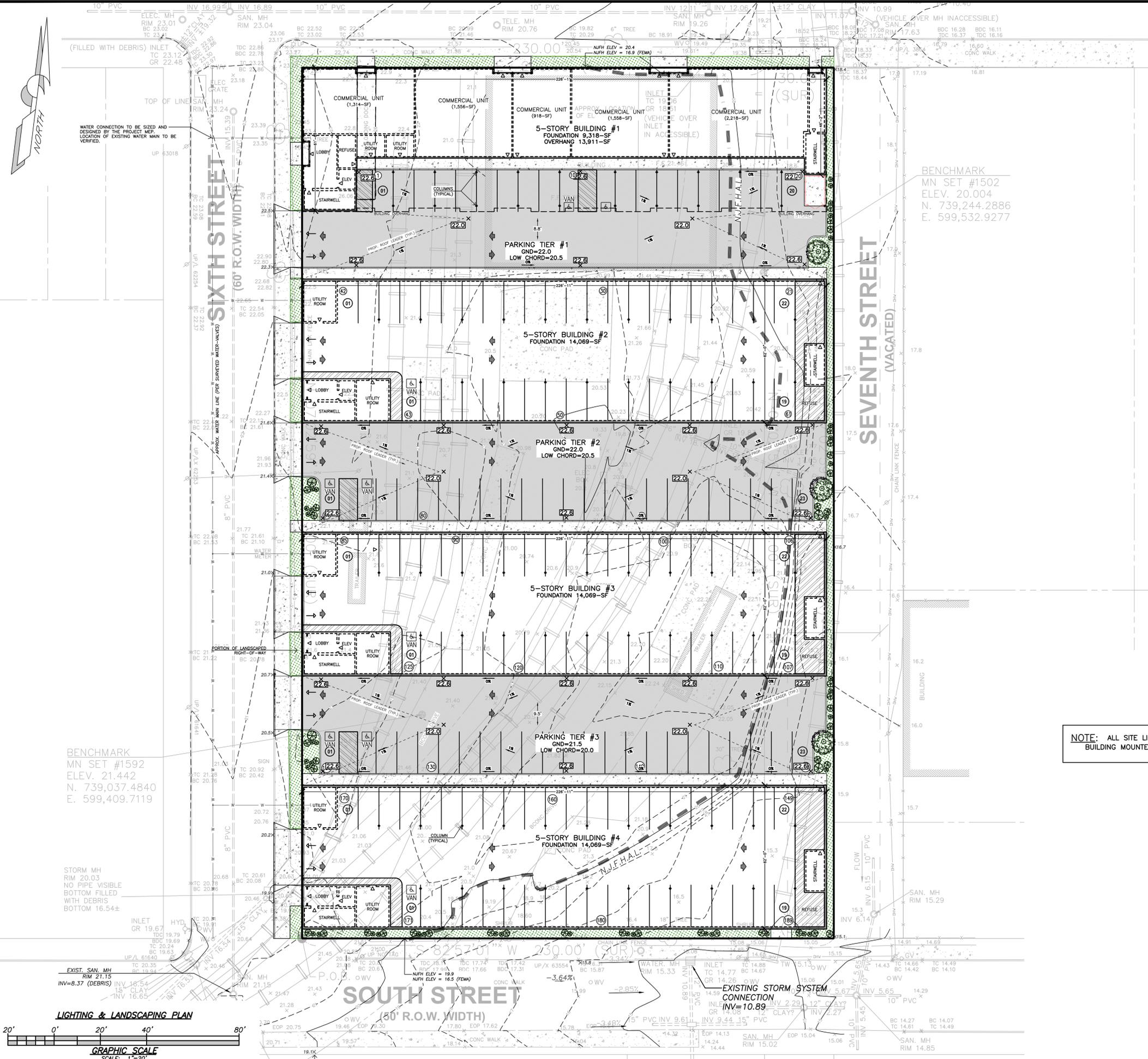
MOB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07051-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mob@mobeng.com Website: www.mobeng.com

MATTHEW G. CLARK
Professional Engineer, License No. 35099
Civil, Mechanical, Electrical, and Environmental Engineering
1000 W. BROADWAY, SUITE 200, TOWANA, NJ 07051

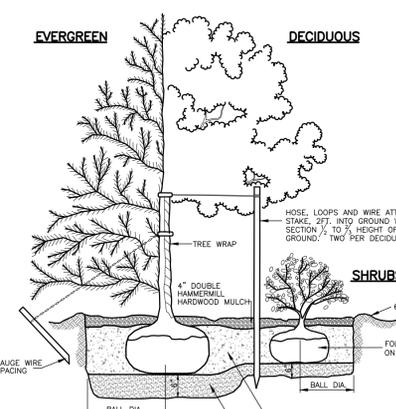
PATRICK D. McLELLAN
Professional Engineer, License No. 35099
Civil, Mechanical, Electrical, and Environmental Engineering
1000 W. BROADWAY, SUITE 200, TOWANA, NJ 07051

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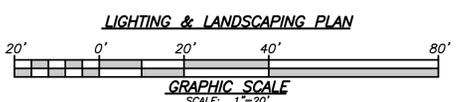


- ### GENERAL NOTES / REFERENCES
- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAC STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
 - BOUNDARY, TOPOGRAPHIC AND PLANNIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAC, PASSAC COUNTY, N.J. BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANNIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAC, PASSAC COUNTY, NEW JERSEY TAX BLOCK/LOT 5000/1" BY BEGAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
 - PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAC STREET & SIXTH STREET PASSAC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
 - HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
 - ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
 - ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
 - ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
 - THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FPF) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
 - ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
 - UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
 - ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
 - THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
 - FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
 - PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER GRADE TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
 - TBYV = TO BE FIELD VERIFIED.
 - ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAC SPECIFICATIONS AND STANDARDS.
 - LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 - DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.



PLANTING DETAIL (NOT TO SCALE)

NOTE: ALL SITE LIGHT TO BE BUILDING MOUNTED LIGHTS.



THE STATION AT PASSAC
BLOCK 5000.02 - LOT 1
CITY OF PASSAC
PASSAC COUNTY, NEW JERSEY

drawing no. 5 of 15

PROJECT NO. 3971

DATE 03/27/20

SCALE 1"=20'

DESIGNED BY PLH

CHECKED BY PDMC

PROJECT NAME LIGHTING & LANDSCAPING PLAN

REVISIONS

DATE

REVISIONS

PROJECT NO. 3971

DATE 03/27/20

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DATE 03/27/20

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CHECKED BY PDMC

PROJECT NAME LIGHTING & LANDSCAPING PLAN

REVISIONS

DATE

REVISIONS

PROJECT NO. 3971

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DESIGNED BY PLH

CHECKED BY PDMC

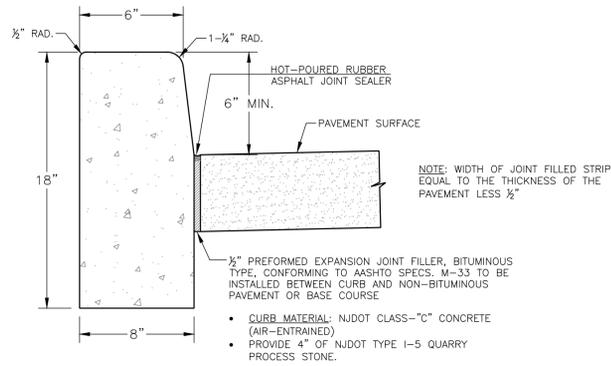
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REVISIONS

DATE

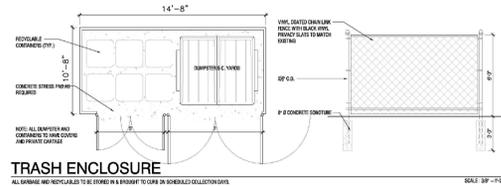
REVISIONS

PROJECT NO. 3971

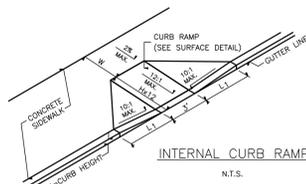


TRAVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. M-213 RECESSED 1/4" IN FROM FRONT FACE OF TOP OF CURB.

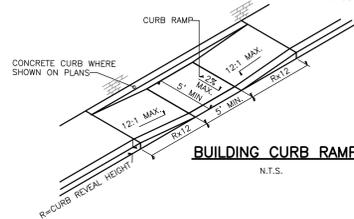
CONCRETE VERTICAL CURB DETAIL
NOT TO SCALE



TRASH ENCLOSURE
SCALE: 3/4" = 1'-0"



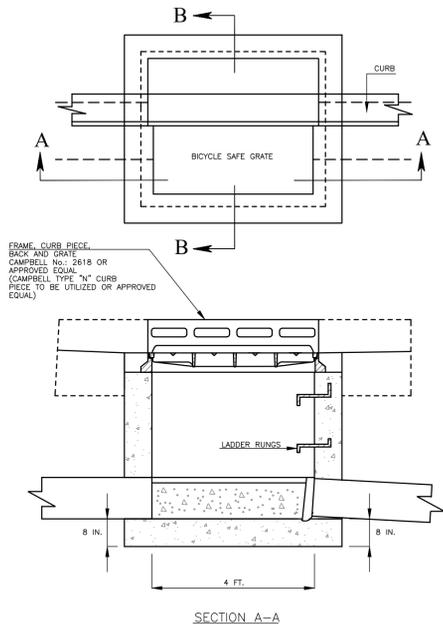
NOTE: IF W IS LESS THAN 4', THEN THE MAXIMUM SLOPE OF THE FLARED SIDE MUST BE 12:1, AND L1 MUST BE AT LEAST 12 TIMES H. FINISH IS TO BE STEEL TROWELED AND THEN LIGHT BROOMED TO PROVIDE A UNIFORM, NON-SLIP SURFACE FINISH.



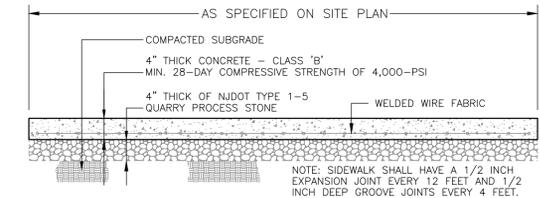
BUILDING CURB RAMP
N.T.S.

INLET NOTES

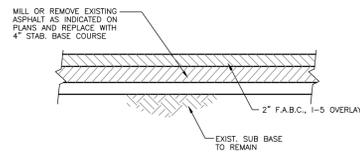
- INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8" THICK IF BRICK AND 6" THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE.
- FOUNDATIONS, WALLS AND INVERTS TO BE NJDOT CLASS "C" CONCRETE.
- WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10' AS MEASURED FROM THE TOP OF GRATE/COVER TO INVERT, WALLS BELOW A DEPTH OF 8' SHALL BE 12" THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE, NJDOT SIZE No. 57. THE COURSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
- CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED (12" MAXIMUM).
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10' AS MEASURED FROM TOP OF GRATE/COVER TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- INLET REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.



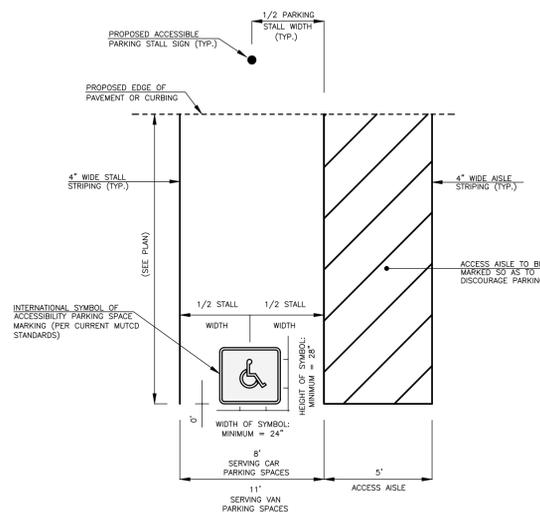
INLET TYPE "B" DETAIL
N.T.S.



CONCRETE SIDEWALK DETAIL
NOT TO SCALE



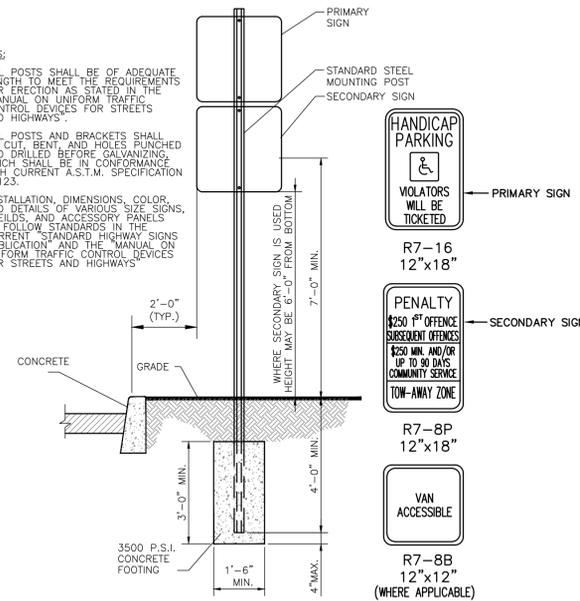
PAVING REPLACEMENT DETAIL
NOT TO SCALE



HANDICAP PARKING STALL DETAIL
N.T.S.

- NOTES:
- THE CONTRACTOR SHALL ENSURE THAT THE MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 1:5%.

- NOTES:
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A-125.
 - INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZE SIGNS, SHELDIS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT STANDARD HIGHWAY SIGNS PUBLICATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.



AMERICANS WITH DISABILITIES ACT ACCESSIBLE PARKING STALL SIGN DETAIL
N.T.S.

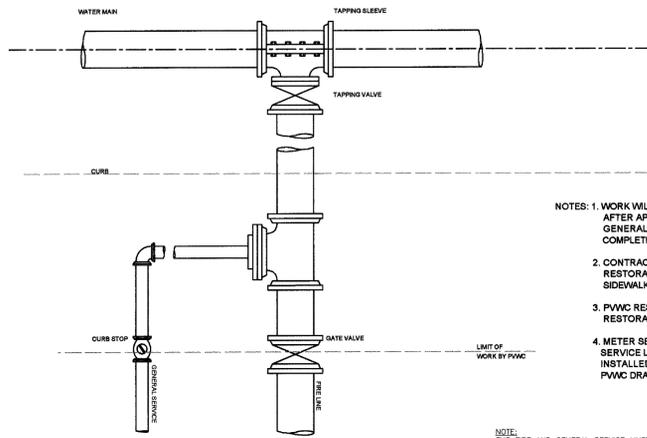
NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.

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|--------------|---|
| Project No. | 3971 |
| Sheet No. | 6 of 15 |
| Scale | 1" = 20' |
| Date | 03/27/20 |
| Drawn by | PLH |
| Checked by | PDMC |
| Project Name | ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 1) |

| NO. | DATE | REVISIONS |
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MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mcb@mcbe.com Website: www.mcbe.com

MATTHEW G. CLARK
Professional Engineer License No. 35099
Professional Seal of the Professional Engineer, State of New Jersey



FIRE SERVICE TYPICAL DETAIL
NOT TO SCALE

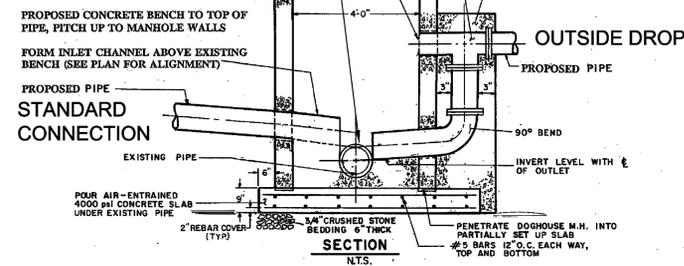
- NOTES: 1. WORK WILL BE SCHEDULED AFTER APPLICATIONS FOR GENERAL AND FIRE SERVICES ARE COMPLETED.
2. CONTRACTOR/OWNER RESPONSIBLE FOR RESTORATION OF THE CURB AND SIDEWALK AREA.
3. P.V.C. RESPONSIBLE FOR RESTORATION OF THE ROADWAY.
4. METER SETTING ON GENERAL SERVICE LINE SHALL BE INSTALLED ACCORDING TO ATTACHED P.V.C. DRAWINGS.

NOTE: THE FIRE AND GENERAL SERVICE MUST BE SPLIT AT THE CURB WITH SEPARATE SHUT OFF VALVES.

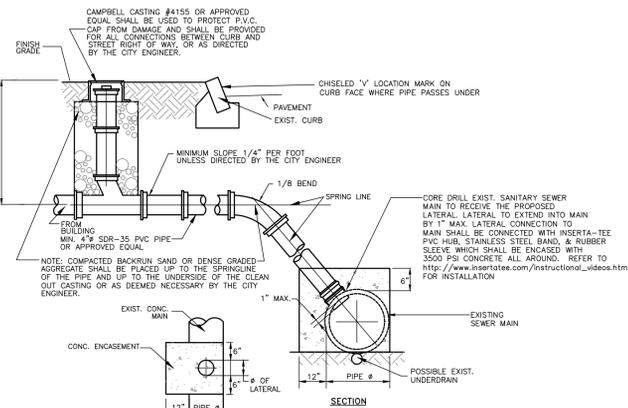
SPLIT PIPE TO FORM CHANNEL AFTER MANHOLE IS CONSTRUCTED. CHANNEL MUST MATCH INVERT OF PIPE.

DOGHOUSE OPENING FOR SEWER SHALL BE CAST IN MANHOLE SECTION. AFTER PLACING MANHOLE SECTION, FILL AROUND PIPE WITH NON-SHRINKING GROUT.

DROP CONNECTION TO BE SAME DIAMETER AS INLET. SEWER FITTINGS SHALL BE PVC SCHEDULE 40 & SHALL CONFORM TO STANDARD SPECIFICATIONS FOR CONCRETE MASONRY UNITS FOR CONSTRUCTION OR CATCH BASINS & MANHOLES ASTM DESIGNATION C-139-99.

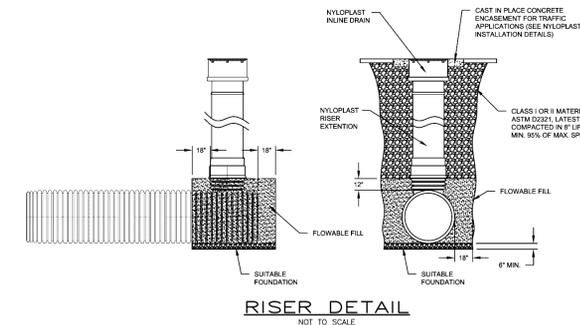


DOGHOUSE MANHOLE
N.T.S.

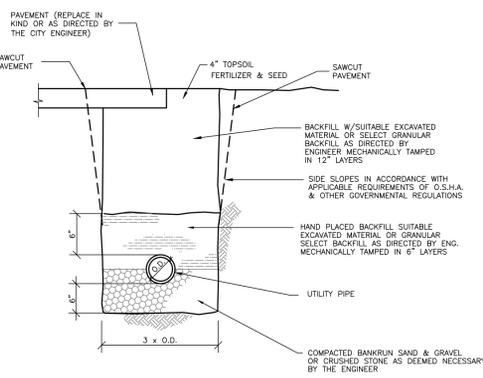


LATERAL CONNECTION TO EXISTING SEWER MAIN DETAIL
NOT TO SCALE

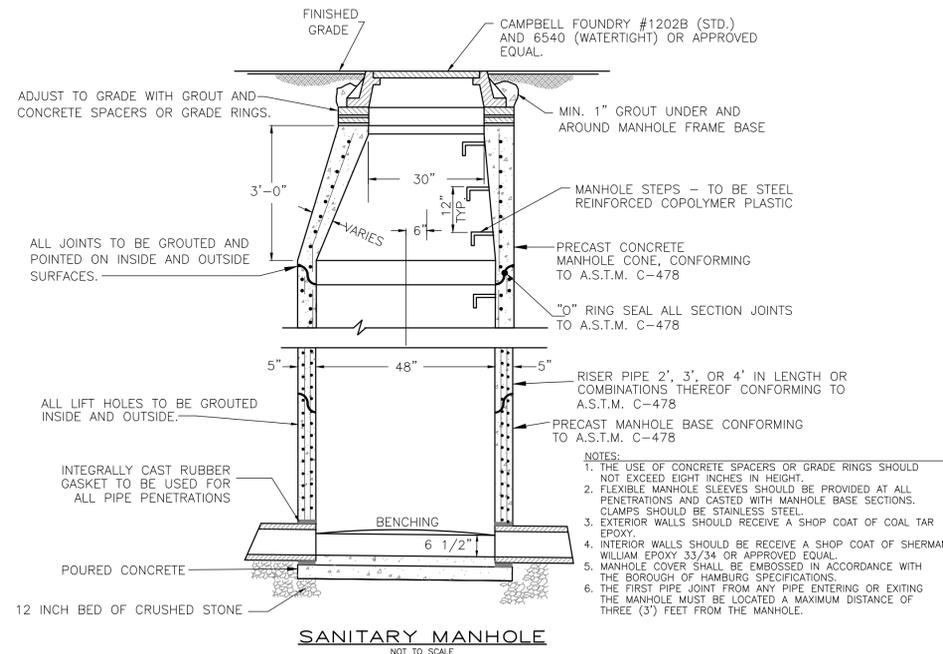
- APPLICATIONS:
1. WHEN EXIST. MAIN/INTERCEPTOR FLOW CAN NOT BE INTERRUPTED.
 2. WHEN AN EXIST. UNDERDRAN EXISTS UNDER THE MAIN.
 3. WHEN A STRAPPED SADDLE CONNECTION CAN NOT BE CONSTRUCTED.



RISER DETAIL
NOT TO SCALE



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE



SANITARY MANHOLE
NOT TO SCALE

- NOTES:
1. THE USE OF CONCRETE SPACERS OR GRADE RINGS SHOULD NOT EXCEED EIGHT INCHES IN HEIGHT.
 2. FLEXIBLE MANHOLE SLEEVES SHOULD BE PROVIDED AT ALL PENETRATIONS AND CAST WITH MANHOLE BASE SECTIONS. CLAMPS SHOULD BE STAINLESS STEEL.
 3. EXTERIOR WALLS SHOULD RECEIVE A SHOP COAT OF COAL TAR EPOXY.
 4. INTERIOR WALLS SHOULD RECEIVE A SHOP COAT OF SHERMAN WILLIAM EPOXY 33/34 OR APPROVED EQUAL.
 5. MANHOLE COVER SHALL BE EMBOSSED IN ACCORDANCE WITH THE BOROUGH OF HAMBURG SPECIFICATIONS.
 6. THE FIRST PIPE JOINT FROM ANY PIPE ENTERING OR EXITING THE MANHOLE MUST BE LOCATED A MAXIMUM DISTANCE OF THREE (3) FEET FROM THE MANHOLE.

THE STATION AT PASSAIC
BLOCK 5000.02 - LOT 1
CITY OF PASSAIC
PASSAIC COUNTY, NEW JERSEY

ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 2)

drawing no. 7 of 15
project no. 3971
date 03/27/20
checked by PLH
drawn by PDMC

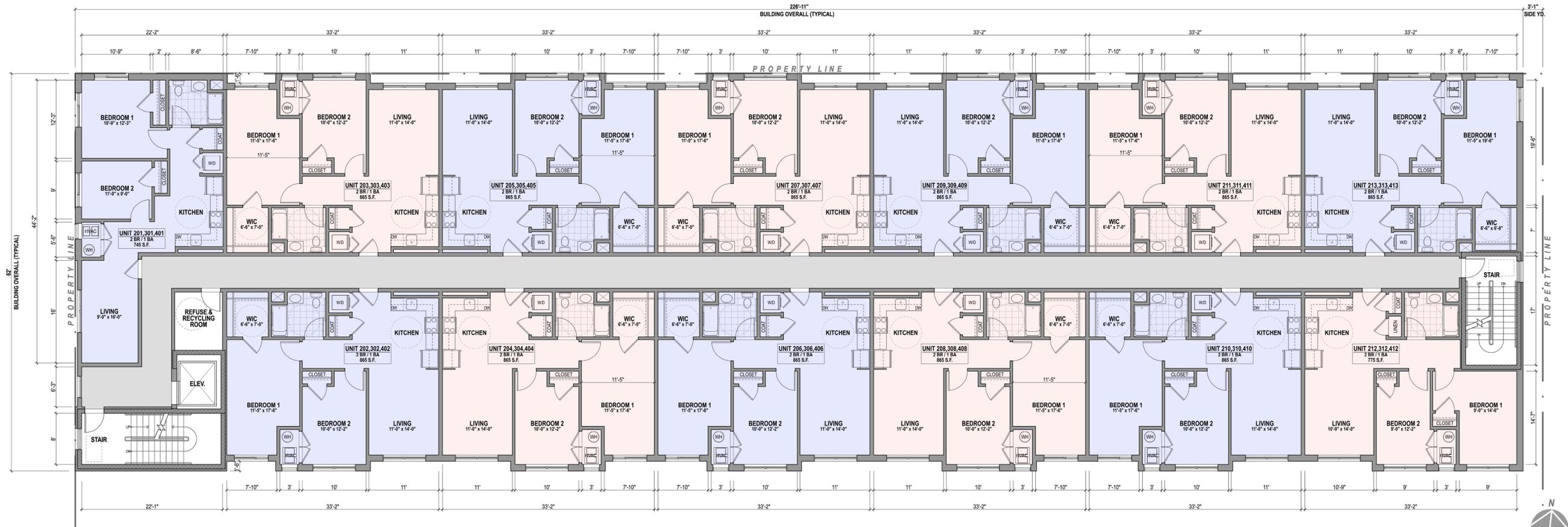
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THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY REVISIONS, ADDITIONAL CONSTRUCTION DETAILS AND COORDINATION WITH THE PROJECT TEAM TO BE SUBMITTED FOR USE IN BIDDING AND CONSTRUCTION.

MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWNSHIP, NEW JERSEY 07511-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mcb@mcba.com Website: www.mcba.com

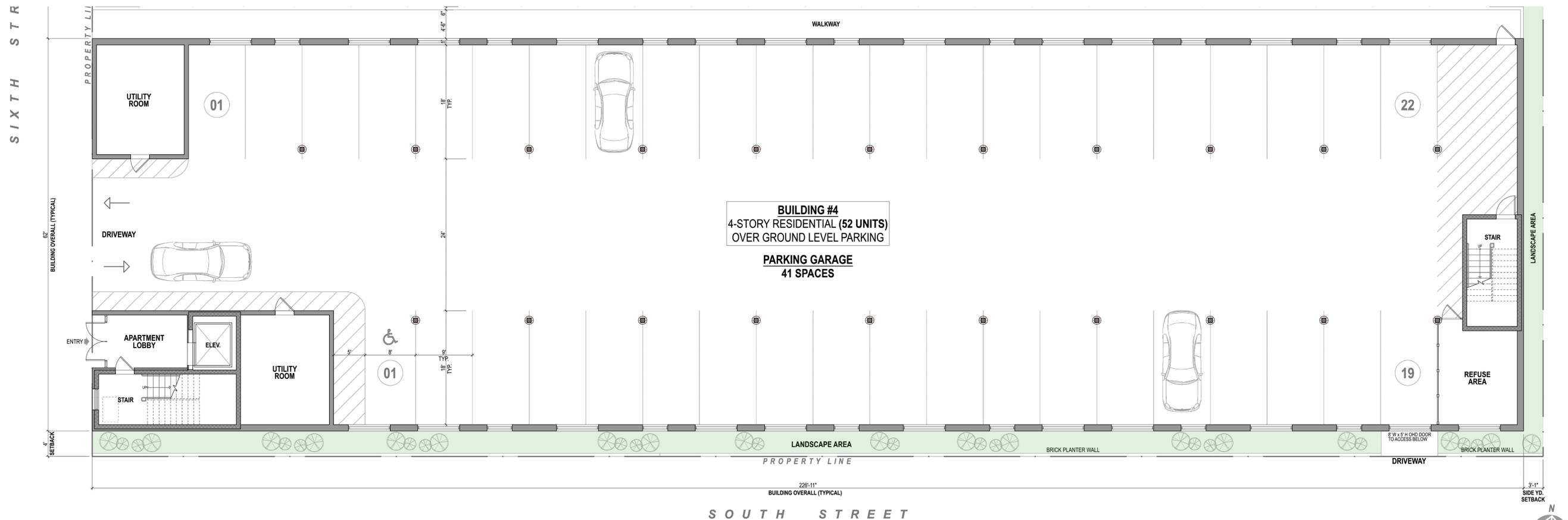
MATTHEW G. CLARK
Professional Engineer
License No. 35039
Professional Seal of the Professional Engineer, State of New Jersey

NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.



TYPICAL FLOOR PLAN @ BUILDINGS # 1 - # 4 (2ND - 5TH FLOORS)

SCALE: 1/8"=1'-0"



GROUND LEVEL PLAN - BUILDING # 4

SCALE: 1/8"=1'-0"



| NO. | REVISIONS |
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OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omlkarchitects.com
 t. 201.689.7720
 e. om@omlkarchitects.com

[Signature]
 Credits Manager
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /
 Multi-Family Residential (208 Units)
 4-Building Development
 @ Passaic Street & Sixth Street Passaic, NJ
 BLOCK: 5000.02 LOT: 1

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| 1822 | proj. no. |
| 03/27/20 | date |
| LK | drawn |
| OM | check |
| as noted | scale |

Z-3



PASSAIC STREET ELEVATION - BUILDING # 1

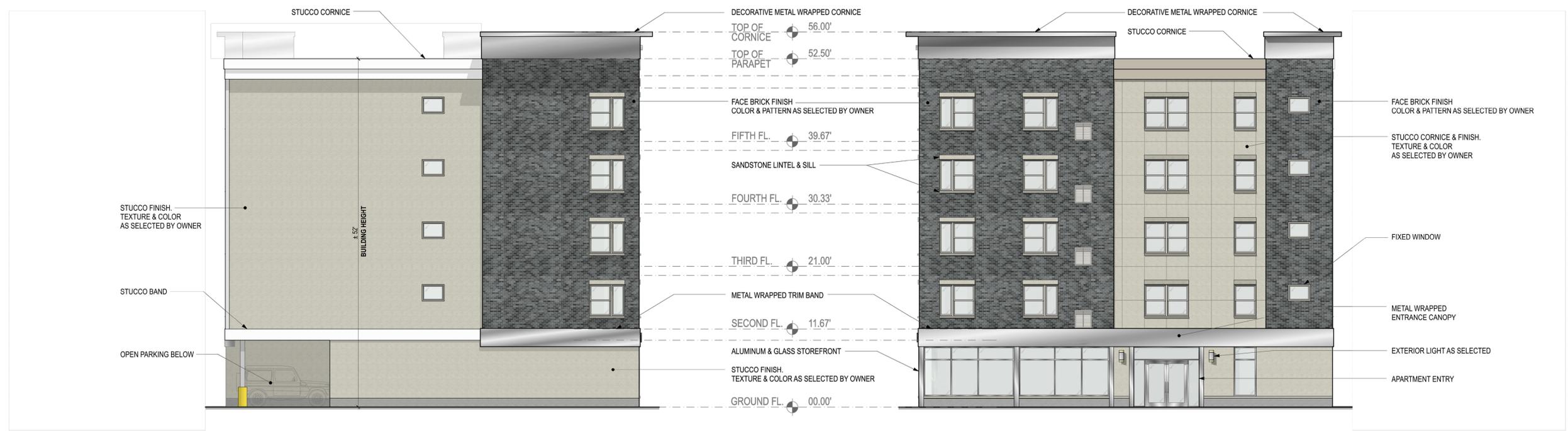
SCALE: 1/8"=1'-0"



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OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omlkarchitects.com
 t. 201.689.7220
 e. om@omlkarchitects.com

[Signature]
 Onaldo Martínez
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1



SEVENTH STREET(FORMER) ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"

SIXTH STREET ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"

Proposed Mixed Commercial /
 Multi-Family Residential (208 Units)
 4-Building Development
 @ Passaic Street & Sixth Street Passaic, NJ
 BLOCK: 5000.02 LOT: 1

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| 03/27/20 | date |
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| as noted | scale |

Z-4



INTERIOR REAR ELEVATION - BUILDING # 1

SCALE: 1/8"=1'-0"



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OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omkarchitects.com
 t. 201.689.7220
 e. om@omkarchitects.com

[Signature]
 Orlando Martinez
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /
 Multi-Family Residential (208 Units)
 4-Building Development
 @ Passaic Street & Sixth Street Passaic, NJ
 BLOCK: 5000.02 LOT: 1

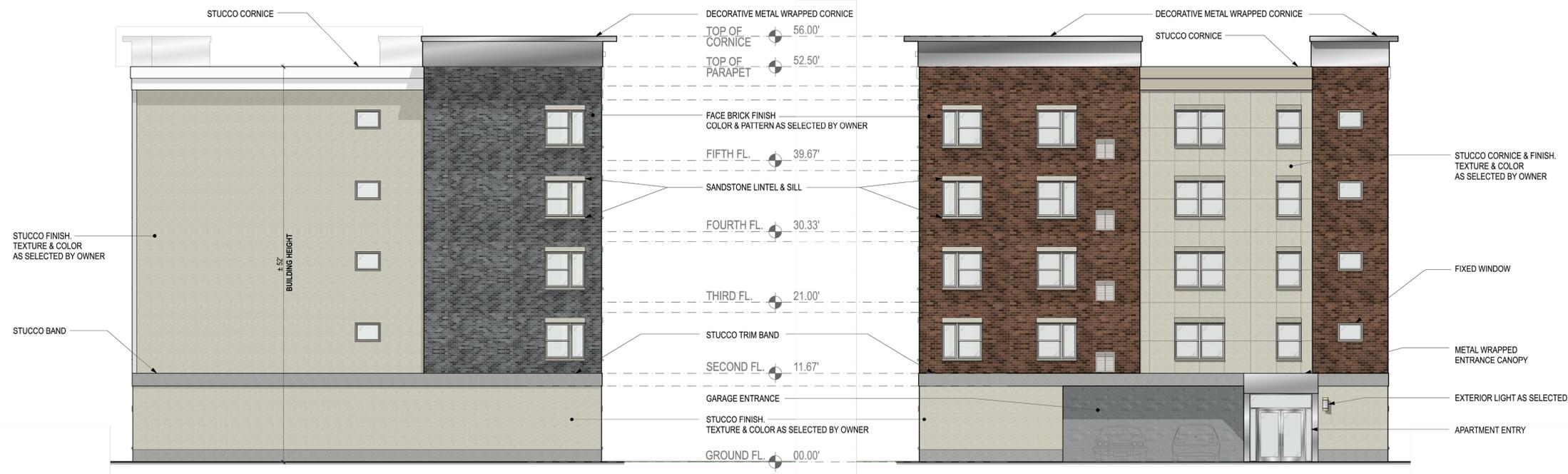
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| 03/27/20 | date |
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| OM | check |
| as noted | scale |

Z-5



INTERIOR BUILDING ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"



SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"

SIXTH STREET ELEVATION - BUILDINGS # 2 & # 3

SCALE: 1/8"=1'-0"



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OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omkarchitects.com
 t. 201.689.7220
 e. om@omkarchitects.com

Orlando Martínez
 Orlando Martínez
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

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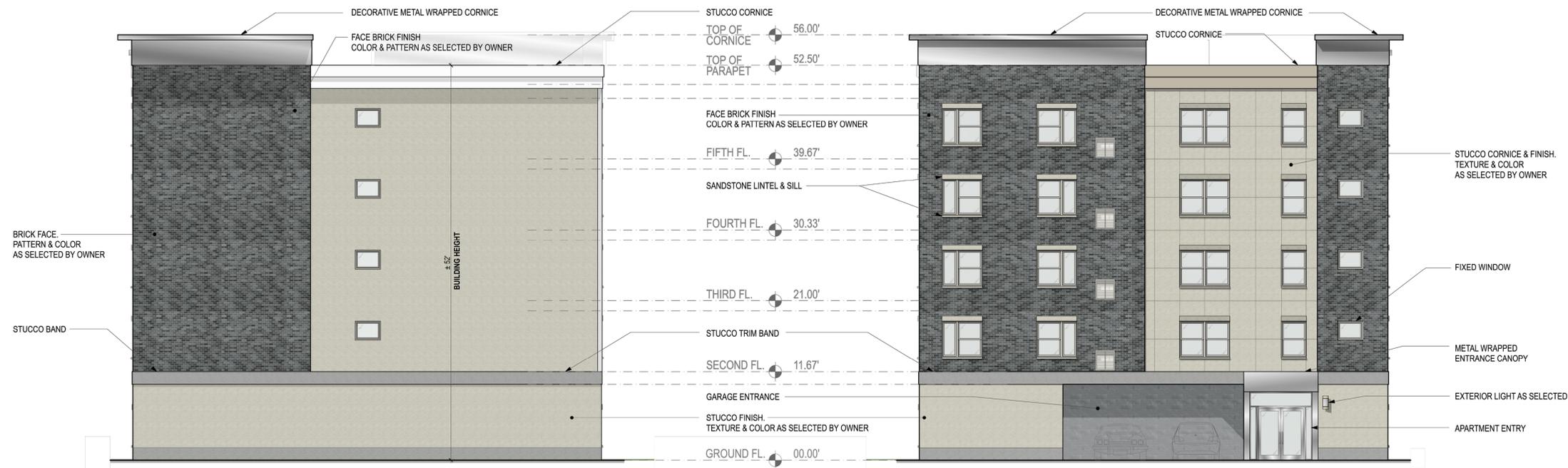
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| 03/27/20 | date |
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| OM | check |
| as noted | scale |

Z-6



SOUTH STREET ELEVATION - BUILDING # 4

SCALE: 1/8"=1'-0"



SIXTH STREET ELEVATION - BUILDING # 4

SCALE: 1/8"=1'-0"

SEVENTH STREET (FORMER) ELEVATION - BUILDINGS # 4

SCALE: 1/8"=1'-0"



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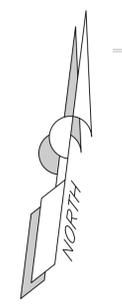
OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omkarchitects.com
 t. 201.689.7720
 e. om@omkarchitects.com

[Signature]
 Creative Director
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

Proposed Mixed Commercial /
 Multi-Family Residential (208 Units)
 4-Building Development
 @ Passaic Street & Sixth Street Passaic, NJ
 BLOCK: 5000.02 LOT: 1

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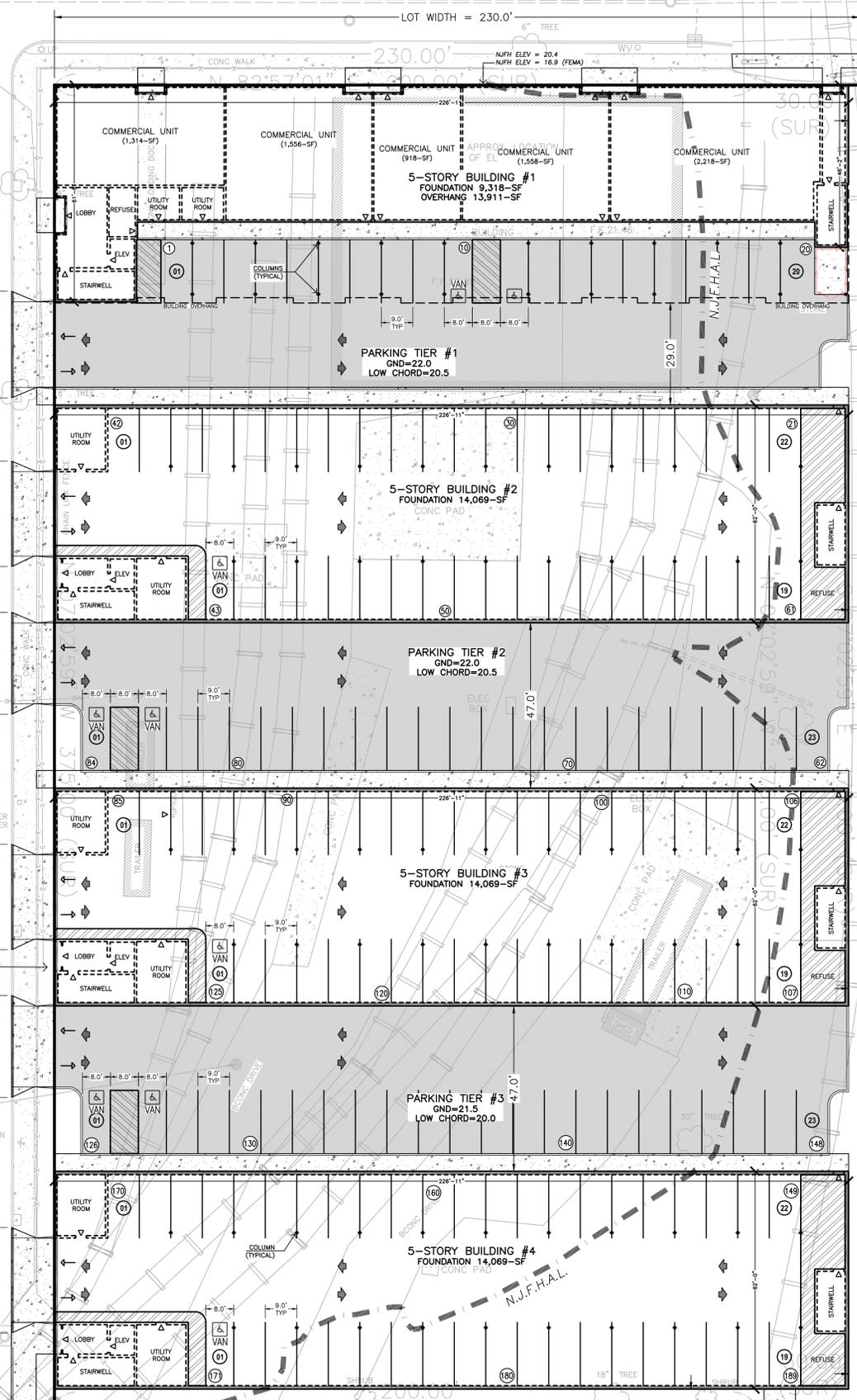
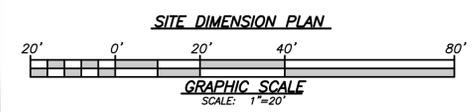
Z-7



SIXTH STREET
(60' R.O.W. WIDTH)

SEVENTH STREET
(VACATED)

SOUTH STREET
(50' R.O.W. WIDTH)



BENCHMARK
MN SET #1502
ELEV. 20.004
N. 739,244.2886
E. 599,532.9277

LOT DEPTH = 375.0'

GENERAL NOTES / REFERENCES

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1989 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANNING INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ" BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANNING INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT 5000/1" BY BEGAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH AVENUE SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FP) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMP SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
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- TBY = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAIC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.

NOTE: 26 PARKING SPACES ARE RESERVED FOR USE BY THE WALL STREET RESIDENTIAL PROJECT.

| | | | |
|---|------|-------------|----------|
| THE STATION AT PASSAIC BLOCK 5000 - LOT 1 CITY OF PASSAIC PASSAIC COUNTY, NEW JERSEY | | drawing no. | 3 of 11 |
| OFF-SITE PARKING PLAN | | project no. | 3971 |
| drawn by | PLH | date | 03/27/20 |
| checked by | PDMc | scale | 1"=20' |

| NO. | DATE | REVISIONS |
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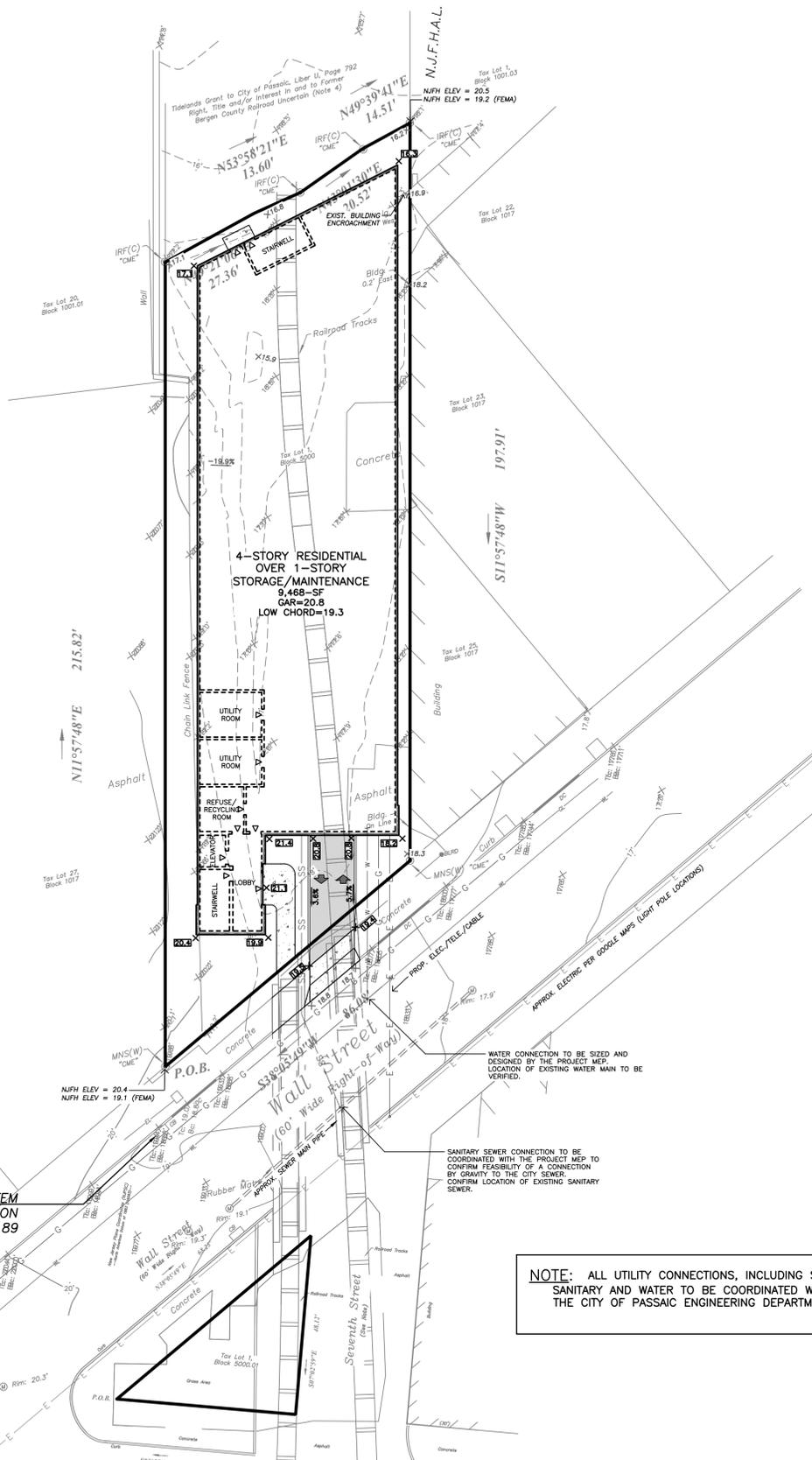
MOB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07051-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mob@mobeng.com Website: www.mobeng.com

PATRICK D. McLELLAN
Professional Engineer License No. 30599
Civil, Mechanical, Electrical, and Plumbing
City of Passaic, New Jersey

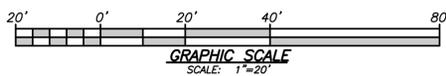
MATTHEW G. CLARK
Professional Engineer License No. 30599
Civil, Mechanical, Electrical, and Plumbing
City of Passaic, New Jersey



New Jersey Plans, Coordinates System
From American Datum of 1983



GRADING & UTILITY PLAN



GENERAL NOTES / REFERENCES

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1989 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ" BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT: 5000/1" BY BEGAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
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WATER DEMAND AND SANITARY SEWER PROJECTED FLOWS

WATER DEMAND, RSIS NJAC 5:21-5.2, TABLE 5.1 (PDF PG. 69 OF 143)

DEFINITION: GARDEN STYLE UNIT

| | | | | | |
|-----------|------------------|----------|--------|---|---------------|
| 2-BEDROOM | 175 GAL/DAY/2-BR | 24 UNITS | 175x24 | = | 4,200 GAL/DAY |
| 1-BEDROOM | 120 GAL/DAY/2-BR | 12 UNITS | 120x12 | = | 1,440 GAL/DAY |
| | | | TOTAL | = | 5,640 GAL/DAY |

PROPOSED WATER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

SANITARY SEWER PROJECTED FLOW, NJAC 7:14A-23.3(c) (PDF PG. 2 OF 43)

DEFINITION: RESIDENTIAL DWELLING

| | | | | | |
|-----------|------------------|----------|--------|---|---------------|
| 2-BEDROOM | 225 GAL/DAY/2-BR | 24 UNITS | 225x24 | = | 5,400 GAL/DAY |
| 1-BEDROOM | 150 GAL/DAY/2-BR | 12 UNITS | 150x12 | = | 1,800 GAL/DAY |
| | | | TOTAL | = | 7,200 GAL/DAY |

PROPOSED SANITARY SEWER CONNECTION MUST BE APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY/STATE AGENCY.

THE STATION AT PASSAIC
BLOCK 5000 - LOT 1
CITY OF PASSAIC
PASSAIC COUNTY, NEW JERSEY

drawing no. 4 of 11
project no. 3971

DATE 03/27/20
SCALE 1"=20'

DESIGNED BY PLH
CHECKED BY PDMc

GRADING & UTILITY PLAN

| NO. | DATE | REVISIONS |
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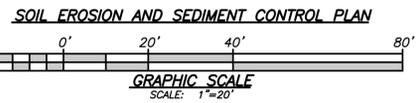
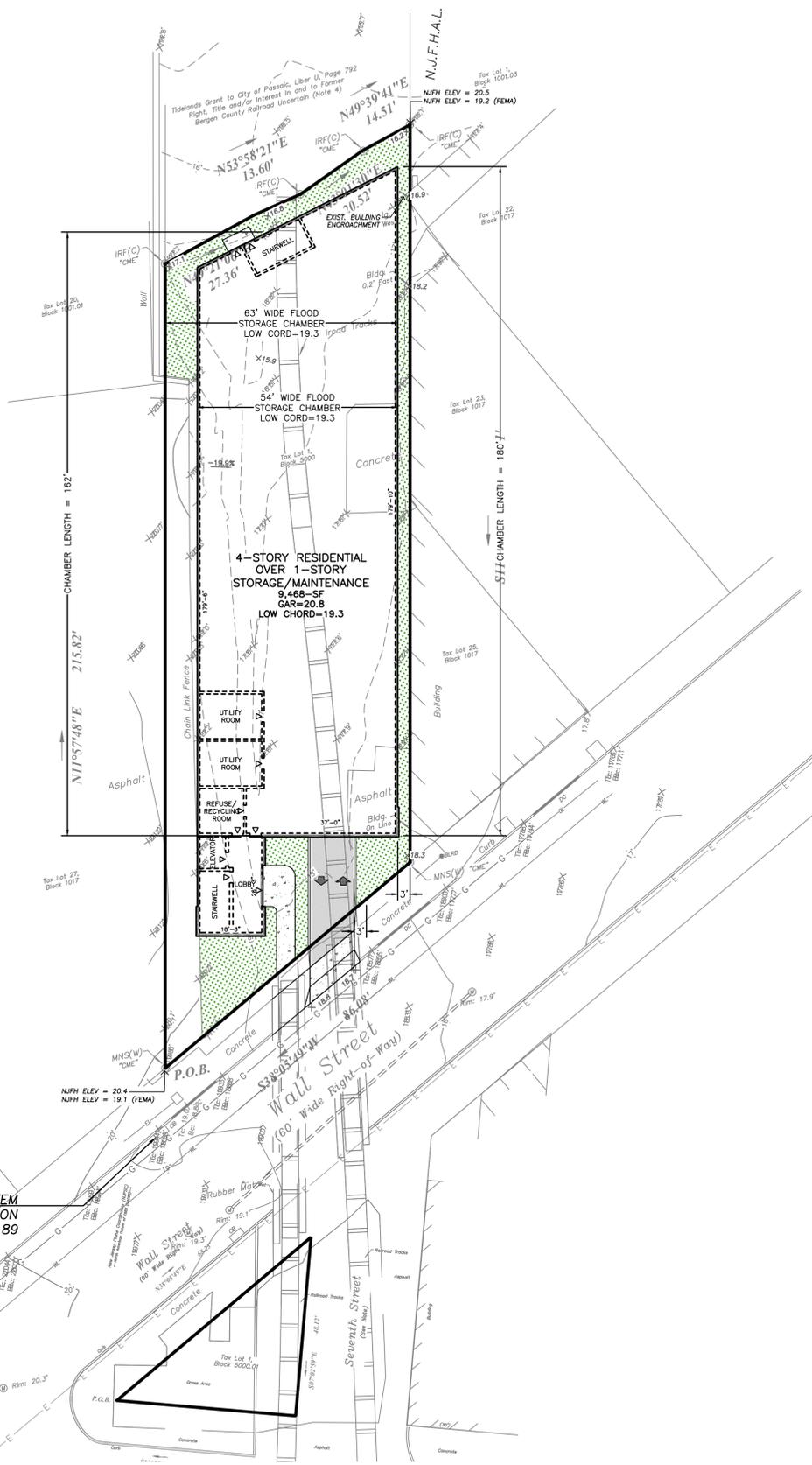
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MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 612-6880 - FACSIMILE: (973) 612-6881
Email: mcb@mcba.com Website: www.mcba.com

MATTHEW G. CLARK
Professional Engineer License No. 36099
Professional Seal of the Professional Engineer, State of New Jersey



New Jersey Plans, Coordinates System
From American Column of 1883

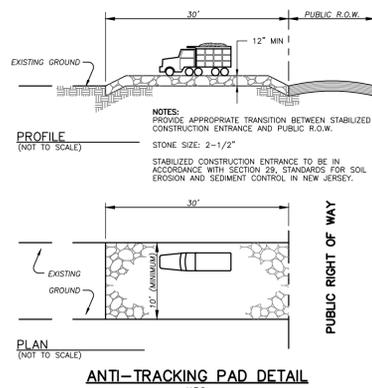


SEEDING NOTES

- TOPSOIL STOCKPILE PROTECTION**
- CONSTRUCT TEMPORARY DIVERSION BERM AND/OR HAY BALE BARRIER AROUND STOCKPILE AREA AS REQUIRED.
 - APPLY LIMESTONE AT A RATE OF 90 LBS/1000 S.F.
 - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS/1000 S.F.
 - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB/1000 S.F.
 - MULCH WITH UNROTTED SALT HAY OR SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. APPLY AT A RATE OF 90 LBS/1000 S.F.
 - PLANT SEED BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCT 1, IF POSSIBLE.
- TEMPORARY STABILIZATION SPECIFICATIONS**
- APPLY TOPSOIL TO A DEPTH OF 4\"/>

DUST CONTROL NOTES:

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1)
- VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL EROSION STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
- SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS / ACRE |
|--------------------------|----------------|----------------|----------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
- POLYACRYLAMIDE (PAM) - SEDIMENT BASINS TO POLYACRYLAMIDE (PAM) - COLLOIDS. DRY SPRAY FLOCCULATE AND PRECIPITATE SUSPENDED SOLIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)
- ACIDULATED SOY BEAN SOAP STOCK NONE COARSE SPRAY 1200
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHESEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
- SODS - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.
- (STANDARDS FOR SEK SC IN NJ, 16-01, JULY, 1999.)



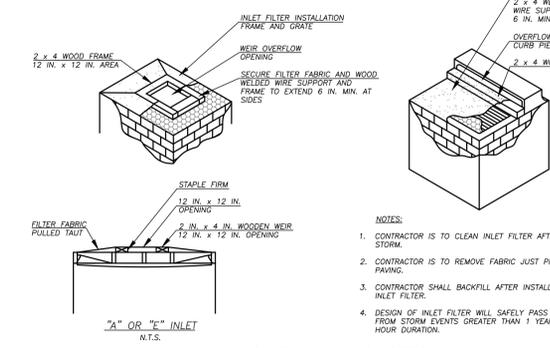
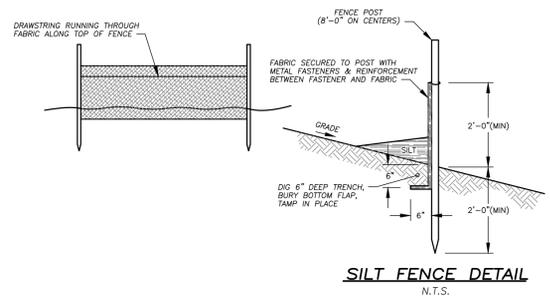
SOIL COMPACTION EXEMPTION NOTE: AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODED VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON-WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

HUDSON-ESSEX PASSAIC SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPCSD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.
- PER THE NATURAL RESOURCE CONSERVATION SERVICE (NRCS) GIS DATA SET:
Hc1b = HASBROUCK SILT LOAM, 0 TO 8 PERCENT SLOPES, VERY STONY (H20-0)
US0NB = URBAN LAND-BOONTON COMPLEX, 0 TO 8 PERCENT SLOPES (H2-0)
- AREA OF DISTURBANCE = 250,100 SF OR 5.74 ACRES.

SEQUENCE OF CONSTRUCTION

- INSTALL EROSION CONTROL DEVICES INCLUDING SILT FENCE AND ANTI-TRACKING PAD. (1 DAY)
 - REMOVE EXISTING SITE IMPROVEMENTS AS NEEDED (2 WEEKS)
 - ROUGH GRADE SITE (2 WEEKS)
 - INSTALL PROPOSED UTILITIES, INCLUDING STORM WATER MANAGEMENT SYSTEM (2 MONTHS)
 - BEGIN BUILDING CONSTRUCTION WITH ALL UTILITY CONNECTIONS. (9 MONTHS)
 - CONSTRUCT FINAL GRADING OF SITE, INSTALL LANDSCAPING AND FINAL STABILIZATION OF LAWN AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM OF FOUR (4) INCHES. (5 DAYS)
 - PERMANENTLY STABILIZE ALL DISTURBED AREAS AND REMOVE ALL SOIL EROSION CONTROL DEVICES AS FINAL ITEM. (1 DAY)
- TENTATIVE START DATE FOR CONSTRUCTION: JUNE 2020



THE STATION AT PASSAIC
BLOCK 5000 - LOT 1
CITY OF PASSAIC
PASSAIC COUNTY, NEW JERSEY

SOIL EROSION AND SEDIMENT CONTROL PLAN

drawing no. 5 of 11
project no. 3971
date 03/27/20
checked by PLH
drawn by PLH

REVISIONS

| NO. | DATE | DESCRIPTION |
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| | | |

MOB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mob@mobeng.com Website: www.mobeng.com

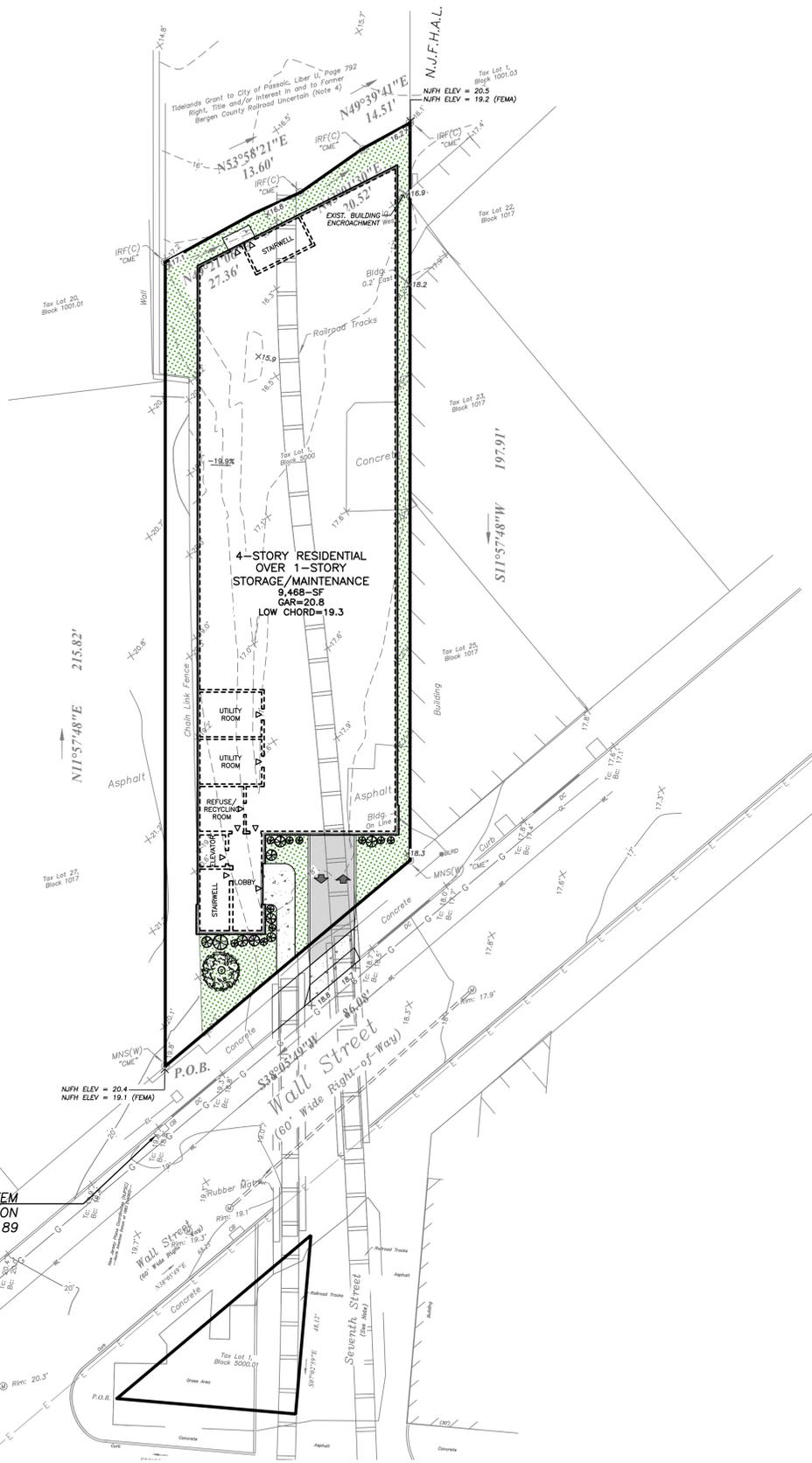
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Professional Engineer License No. 35094
Professional Seal of the Professional Engineers Board of New Jersey

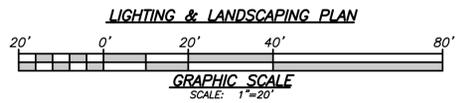
MOBA File Number 3971



New Jersey Plans, Coordinates System
(From American Datum of 1983)



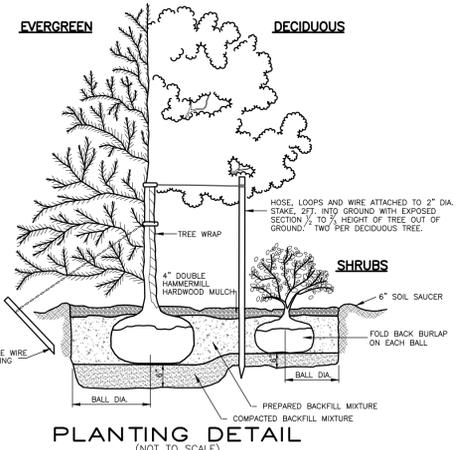
NOTE: ALL SITE LIGHT TO BE BUILDING MOUNTED LIGHTS.



LIGHTING & LANDSCAPING PLAN

GENERAL NOTES / REFERENCES

- SUBJECT PROPERTY (SIXTH AVENUE SITE) KNOWN AS BLOCK 5000.02 LOT 1 (11 PASSAIC STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 13 DATED 1985 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 86,260-SF OR 1.980 ACRES. SUBJECT PROPERTY (WALL STREET SITE) KNOWN AS BLOCK 5000 LOT 1 (54 WALL STREET) AS SHOWN ON THE CITY OF PASSAIC TAX SHEET NUMBER 8 DATED 1955 NO REVISION. THE TOTAL TRACT AREA IS ABOUT 13,422-SF OR 0.313 ACRES.
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (SIXTH AVENUE SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000.02, LOT 1, SITUATED IN THE CITY OF PASSAIC, PASSAIC COUNTY, NJ" BY CME ASSOCIATES, DATED APRIL 2019 NO REVISION. BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC INFORMATION (WALL STREET SITE) FROM A TOPOGRAPHIC SURVEY TITLED "TOPOGRAPHIC SURVEY FOR THE PROPERTY LOCATED AT: WALL STREET, CITY OF PASSAIC, PASSAIC COUNTY, NEW JERSEY TAX BLOCK/LOT: 5000/1" BY BEAMAN SURVEYING ASSOCIATES, P.C. DATED JANUARY 23, 2020 NO REVISION.
- PROPOSED BUILDINGS BASED ON ARCHITECTURAL PLANS (SIXTH STREET SITE) TITLED "PROPOSED MIXED COMMERCIAL / MULTI-FAMILY RESIDENTIAL (208 UNITS) 4-BUILDING DEVELOPMENT @ PASSAIC STREET & SIXTH STREET PASSAIC, NJ BLOCK: 5000.02 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION AND PLANS (WALL STREET SITE) TITLED "PROPOSED 5-STORY MULTI-FAMILY (36 UNITS) RESIDENTIAL & WAREHOUSE BUILDING @ 54-58 WALL STREET, PASSAIC, NJ 07055 BLOCK: 5000 LOT: 1" BY OMLK ARCHITECTS LLC, DATED 03/27/20, NO REVISION.
- HORIZONTAL DATUM BASED ON SURVEY FROM NOTE 2 ABOVE WHICH IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATES. VERTICAL DATUM IS ALSO BASED FROM NOTE 2 ABOVE AND IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). ELEVATIONS MAY BE TRANSFORMED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BY ADDING 1.0-FT TO THE NAVD88 DATUM.
- ALL PROPOSED CONNECTIONS TO EXISTING UTILITIES TO BE FIELD VERIFIED.
- ALL STRIPING AND SIGNAGE TO BE INSTALLED PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PROPOSED "ADA" ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT GOVERNING "AMERICAN WITH DISABILITIES ACT" RULES & REGULATIONS.
- ALL SIGNS (NOT INCLUDING BUILDING SIGNS), STRIPING AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE FINAL LOCATION & CONSTRUCTION (INCLUDING OBTAINING THE REQUIRED CONSTRUCTION PERMITS) OF THE PROPOSED UTILITY SERVICES WITH THE PROJECT ARCHITECT, MUNICIPAL ENGINEER, COUNTY ENGINEER AND EACH RESPECTIVE UTILITY OWNER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF THE EXISTING UTILITIES PRIOR TO OPENING THE ROAD AND INSTALLING THE PROPOSED SERVICE LATERALS TO DETERMINE THE FEASIBILITY OF THE PROPOSED SERVICE LATERAL CONNECTIONS.
- THE SERVICE LATERAL MATERIALS & SIZING (INCLUDING PIPE DIAMETER & SLOPE) SHALL BE AS DIRECTED BY THE PROJECTS MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION (MEP/FPF) DESIGN CONSULTANT BASED ON ACTUAL BUILDING DEMAND VALUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE ALL STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING AND TO INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES.
- ELEVATION BENCHMARK SHALL BE PROVIDED BY THE PROJECT LAND SURVEYOR IN THE FIELD PRIOR TO CONSTRUCTION.
- UTILITIES EXIST WITHIN THE VICINITY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ANY UTILITY FACILITY WITHIN THE PROJECT LIMITS AND ITS VICINITY. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING SIXTH, SEVEN & SOUTH STREETS, FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
- ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
- THE PROPOSED CURB AT THE BASE OF ALL "ADA" CURB RAMPS SHALL BE SET FLUSH WITH THE ADJUTING PROPOSED PAVEMENT SURFACE.
- FINAL LOCATION OF ALL UTILITY CONNECTIONS MUST BE DETERMINED BASED ON "FINAL" ARCHITECTURAL PLANS.
- PROPOSED PARKING LOT GRADING TO BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION TO ASSURE PROPER ACCESS TO BUILDING AND PROPER GRADING TO THE INLET STRUCTURES.
- TBYV = TO BE FIELD VERIFIED.
- ALL MATERIALS AND WORKS FOR THE WATER SERVICE CONNECTIONS SHALL CONFORM TO THE CURRENT CITY OF PASSAIC SPECIFICATIONS AND STANDARDS.
- LEADER DRAIN LOCATIONS PER PROJECT MEP PLANS. LOCATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- DURING THE CONSTRUCTION PROCESS, ALL EXISTING HYDRANTS SHALL REMAIN IN SERVICE AND ACCESSIBLE, INCLUDING ACCESS TO THEM.



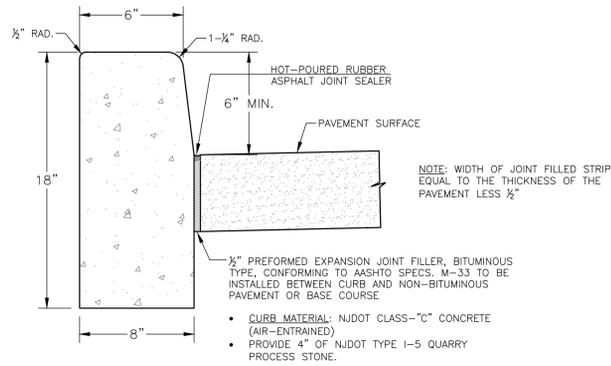
| | | |
|------------------|--|---|
| DRAWING NO. | | 6 OF 11 |
| PROJECT NO. | | 3971 |
| DATE | | 03/27/20 |
| SCALE | | 1"=20' |
| DRAWN BY | | PLH |
| CHECKED BY | | PDMc |
| DRAWING TITLE | | LIGHTING & LANDSCAPING PLAN |
| PROJECT LOCATION | | THE STATION AT PASSAIC BLOCK 5000 - LOT 1 CITY OF PASSAIC PASSAIC COUNTY, NEW JERSEY |

| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |

MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 612-6880 - FACSIMILE: (973) 612-6881
Email: mcb@mcba.com Website: www.mcba.com

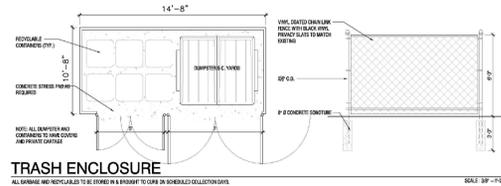
PATRICK D. MCCLELLAN
Professional Engineer License No. 35089
Professional Seal of the Professional Engineer, State of New Jersey

MATTHEW G. CLARK
Professional Engineer License No. 35089
Professional Seal of the Professional Engineer, State of New Jersey



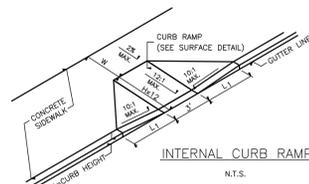
CONCRETE VERTICAL CURB DETAIL
NOT TO SCALE

TRAVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. M-213 RECESSED 1/4" IN FROM FRONT FACE OF TOP OF CURB.



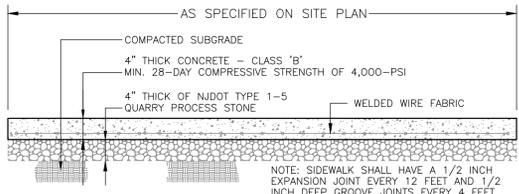
TRASH ENCLOSURE

ALL WELDS AND CONNECTIONS TO BE MADE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS

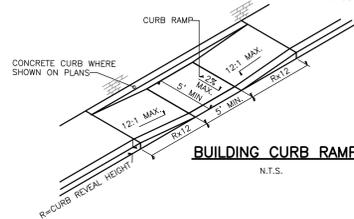


INTERNAL CURB RAMP
N.T.S.

NOTE: IF W IS LESS THAN 4', THEN THE MAXIMUM SLOPE OF THE FLARED SIDE MUST BE 12:1, AND L1 MUST BE AT LEAST 12 TIMES H. FINISH IS TO BE STEEL TROWELED AND THEN LIGHT BROOMED TO PROVIDE A UNIFORM, NON-SLIP SURFACE FINISH.

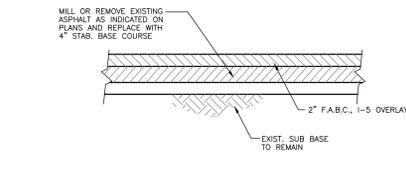


CONCRETE SIDEWALK DETAIL
NOT TO SCALE

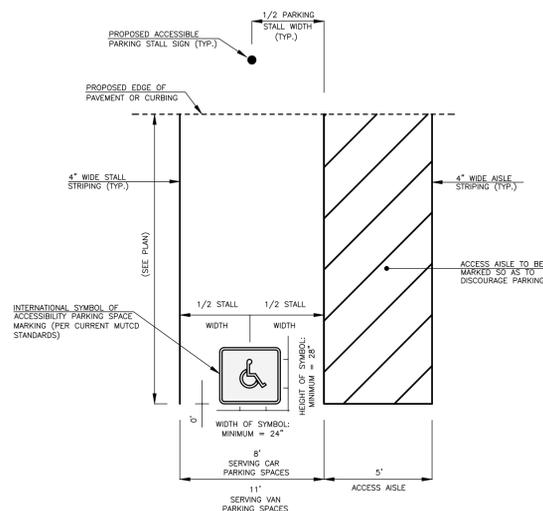


BUILDING CURB RAMP
N.T.S.

NOTE: IF W IS LESS THAN 4', THEN THE MAXIMUM SLOPE OF THE FLARED SIDE MUST BE 12:1, AND L1 MUST BE AT LEAST 12 TIMES H. FINISH IS TO BE STEEL TROWELED AND THEN LIGHT BROOMED TO PROVIDE A UNIFORM, NON-SLIP SURFACE FINISH.



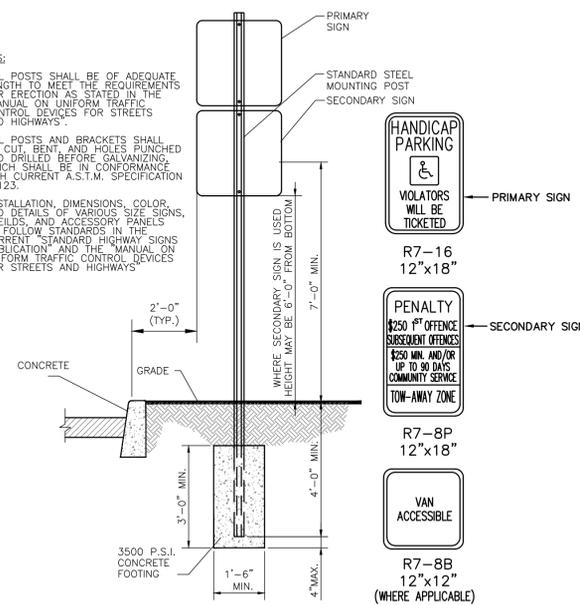
PAVING REPLACEMENT DETAIL
NOT TO SCALE



HANDICAP PARKING STALL DETAIL
(N.T.S.)

NOTES:
1. THE CONTRACTOR SHALL ENSURE THAT THE MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 1:5%.

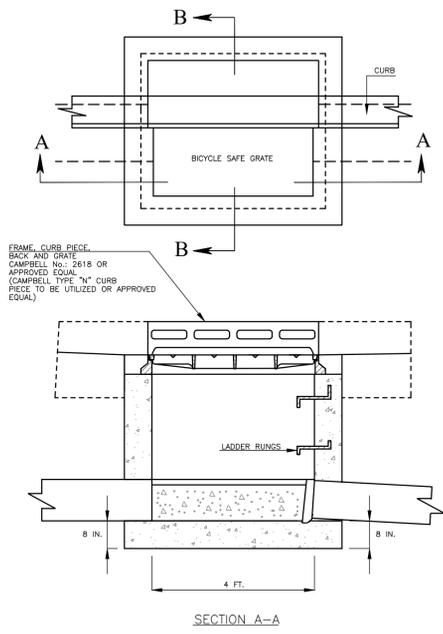
- NOTES:**
- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING, WHICH SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A-125.
 - INSTALLATION, DIMENSIONS, COLOR, AND DETAILS OF VARIOUS SIZE SIGNS, SHELDIS, AND ACCESSORY PANELS TO FOLLOW STANDARDS IN THE CURRENT STANDARD HIGHWAY SIGNS PUBLICATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.



AMERICANS WITH DISABILITIES ACT ACCESSIBLE PARKING STALL SIGN DETAIL
(N.T.S.)

INLET NOTES

- NOTES:**
- INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8" THICK IF BRICK AND 6" THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE.
 - FOUNDATIONS, WALLS AND INVERTS TO BE NJDOT CLASS "C" CONCRETE.
 - WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10' AS MEASURED FROM THE TOP OF GRATE/COVER TO INVERT, WALLS BELOW A DEPTH OF 8' SHALL BE 12" THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
 - INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6" THICK BED OF COMPACTED COARSE AGGREGATE, NJDOT SIZE No. 57. THE COURSE AGGREGATE SHALL EXTEND 6" BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
 - CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED (12" MAXIMUM).
 - WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10' AS MEASURED FROM TOP OF GRATE/COVER TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12". WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
 - INLET REINFORCEMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.



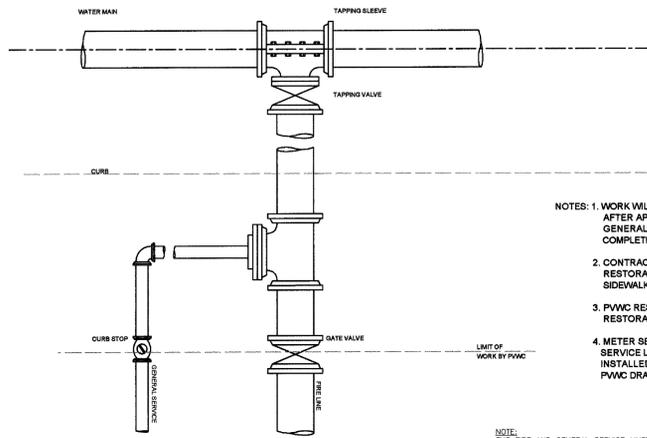
SECTION A-A

SECTION B-B

INLET TYPE "B" DETAIL
(N.T.S.)

NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.

| | | |
|--|--|---|
| <p>THE STATION AT PASSAIC BLOCK 5000 - LOT 1 CITY OF PASSAIC, NEW JERSEY</p> | | <p>drawing no. 7 of 11 project no. 3971</p> |
| <p>PROJECT NAME: ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 1)</p> | | <p>DATE: 03/27/20 SCALE: 1"=20'</p> |
| <p>DESIGNED BY: PLH CHECKED BY: PLH</p> | | <p>DATE: REVISIONS</p> |
| <p>THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A REVISION NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY REVISIONS TO THESE PLANS SHALL BE MADE IN ACCORDANCE WITH THE PROJECT MANUAL REQUIREMENTS. ADDITIONAL REVISIONS SHALL BE MADE AND COORDINATED WITH THE PROJECT TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.</p> | | |
| <p>MCB ENGINEERING ASSOCIATES, LLC P.O. BOX 588, 11 FURLER STREET TOWANA, NEW JERSEY 07511-0588 PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881 Email: mcb@mcba.com Website: www.mcba.com Lic. # 13C-000000000</p> | | <p>MATTHEW G. CLARK REGISTERED PROFESSIONAL ENGINEER LICENSE NO. 35099 CITY OF PASSAIC, NEW JERSEY CITY OF PASSAIC, NEW JERSEY</p> |



FIRE SERVICE TYPICAL DETAIL
NOT TO SCALE

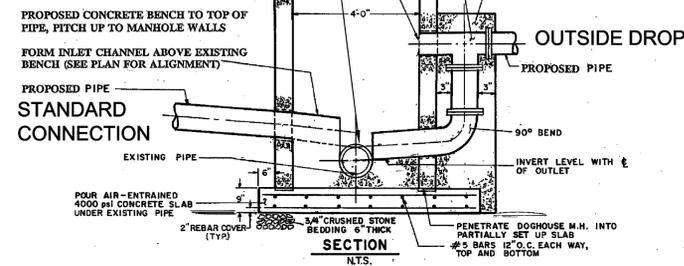
- NOTES: 1. WORK WILL BE SCHEDULED AFTER APPLICATIONS FOR GENERAL AND FIRE SERVICES ARE COMPLETED.
2. CONTRACTOR/OWNER RESPONSIBLE FOR RESTORATION OF THE CURB AND SIDEWALK AREA.
3. P.V.C. RESPONSIBLE FOR RESTORATION OF THE ROADWAY.
4. METER SETTING ON GENERAL SERVICE LINE SHALL BE INSTALLED ACCORDING TO ATTACHED P.V.C. DRAWINGS.

NOTE: THE FIRE AND GENERAL SERVICE MUST BE SPLIT AT THE CURB WITH SEPARATE SHUT OFF VALVES.

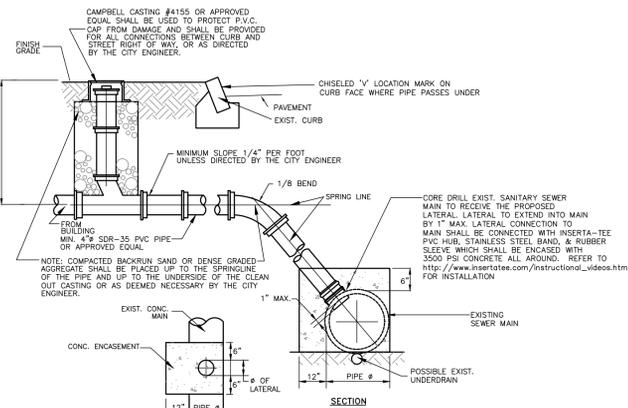
SPLIT PIPE TO FORM CHANNEL AFTER MANHOLE IS CONSTRUCTED. CHANNEL MUST MATCH INVERT OF PIPE.

DOGHOUSE OPENING FOR SEWER SHALL BE CAST IN MANHOLE SECTION. AFTER PLACING MANHOLE SECTION, FILL AROUND PIPE WITH NON-SHRINKING GROUT.

DROP CONNECTION TO BE SAME DIAMETER AS INLET. SEWER FITTINGS SHALL BE PVC SCHEDULE 40 & SHALL CONFORM TO STANDARD SPECIFICATIONS FOR CONCRETE MASONRY UNITS FOR CONSTRUCTION OR CATCH BASINS & MANHOLES ASTM DESIGNATION C-139-92.

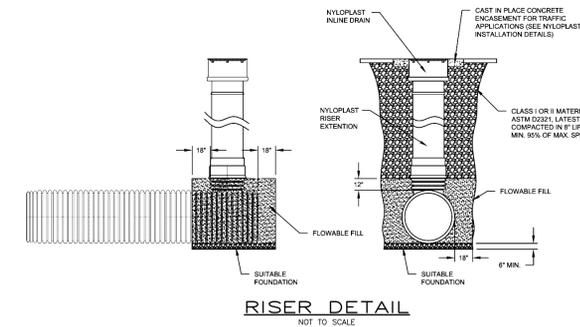


DOGHOUSE MANHOLE
N.T.S.

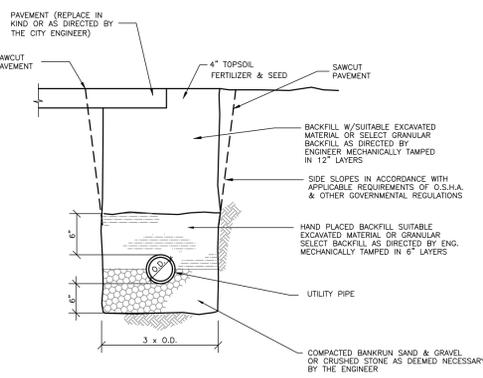


LATERAL CONNECTION TO EXISTING SEWER MAIN DETAIL
NOT TO SCALE

- APPLICATIONS:
1. WHEN EXIST. MAIN/INTERCEPTOR FLOW CAN NOT BE INTERRUPTED.
 2. WHEN AN EXIST. UNDERDRAN EXISTS UNDER THE MAIN.
 3. WHEN A STRAPPED SADDLE CONNECTION CAN NOT BE CONSTRUCTED.

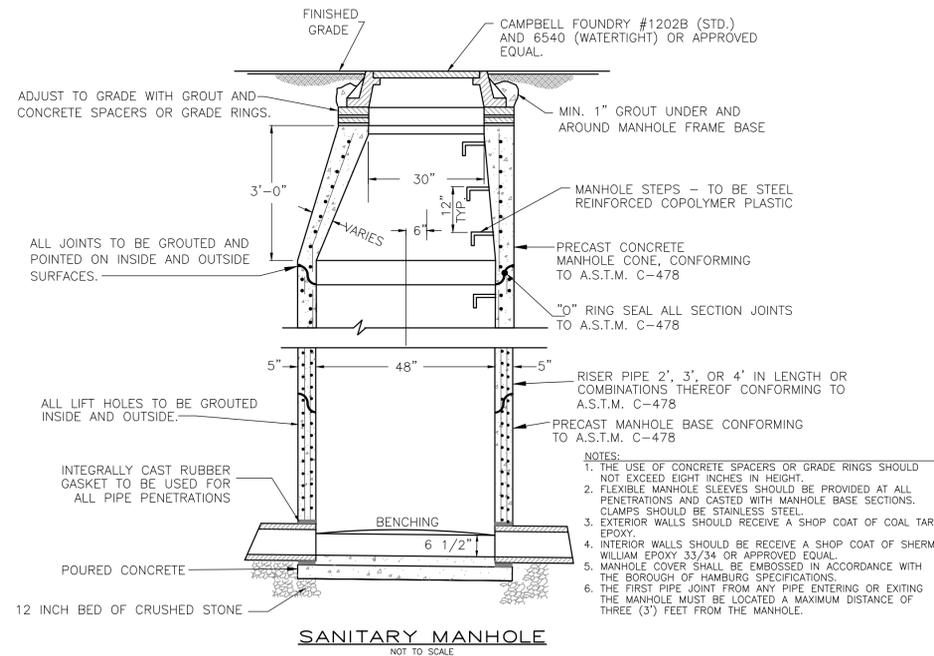


RISER DETAIL
NOT TO SCALE



TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE

NOTE: EXCAVATIONS IN EXISTING PAVED ROADWAYS SHALL BE COORDINATED WITH THE CITY ROAD DEPARTMENT, AND ALL EXCAVATION SHALL BE PAVED WITH TEMPORARY BITUMINOUS PAVEMENT FROM THE DATE OF ORIGINAL EXCAVATION UNTIL PERMANENT PAVEMENT IS INSTALLED.



SANITARY MANHOLE
NOT TO SCALE

- NOTES:
1. THE USE OF CONCRETE SPACERS OR GRADE RINGS SHOULD NOT EXCEED EIGHT INCHES IN HEIGHT.
 2. FLEXIBLE MANHOLE SLEEVES SHOULD BE PROVIDED AT ALL PENETRATIONS AND CAST WITH MANHOLE BASE SECTIONS. CLAMPS SHOULD BE STAINLESS STEEL.
 3. EXTERIOR WALLS SHOULD RECEIVE A SHOP COAT OF COAL TAR EPOXY.
 4. INTERIOR WALLS SHOULD RECEIVE A SHOP COAT OF SHERMAN WILLIAM EPOXY 33/34 OR APPROVED EQUAL.
 5. MANHOLE COVER SHALL BE EMBOSSED IN ACCORDANCE WITH THE BOROUGH OF HAMBURG SPECIFICATIONS.
 6. THE FIRST PIPE JOINT FROM ANY PIPE ENTERING OR EXITING THE MANHOLE MUST BE LOCATED A MAXIMUM DISTANCE OF THREE (3) FEET FROM THE MANHOLE.

THE STATION AT PASSAIC
BLOCK 5000 - LOT 1
CITY OF PASSAIC
PASSAIC COUNTY, NEW JERSEY

ILLUSTRATIVE CONSTRUCTION DETAILS (SHEET 2)

drawing no. 8 of 11
project no. 3971
date 03/27/20
checked by PLH
drawn by PDMC

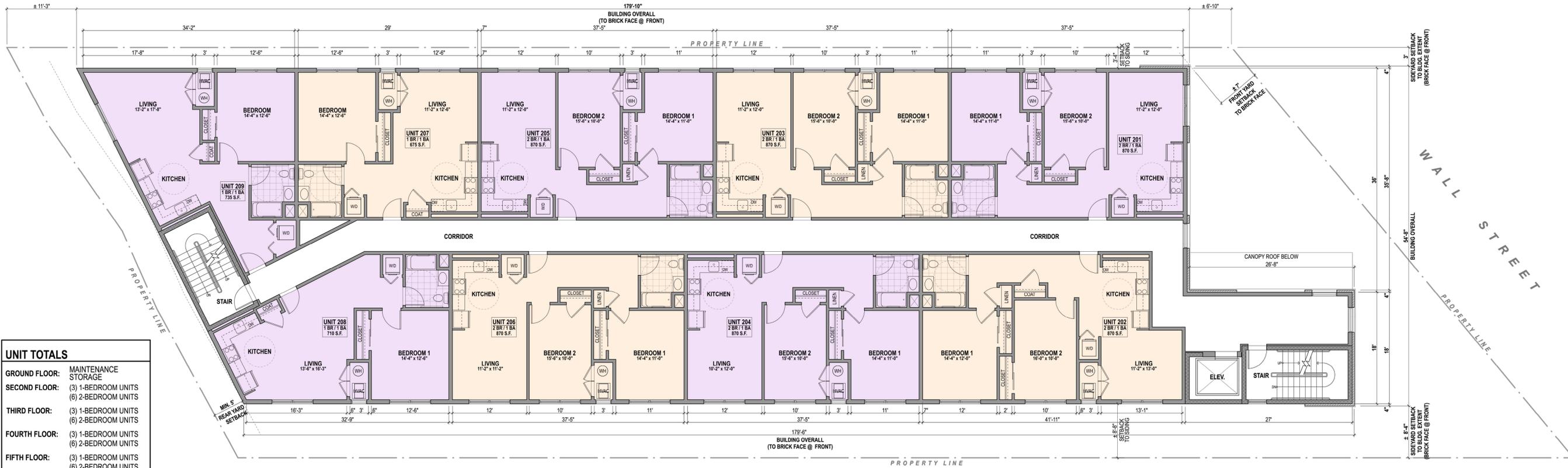
| NO. | DATE | REVISIONS |
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THESE PLANS HAVE BEEN PREPARED FOR AGENCY REVIEW AND APPROVAL PURPOSES. UNLESS A DESIGN NOTE IS INSERTED STATING "RELEASED FOR BIDDING" OR "RELEASED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WILL BE MADE AND COORDINATION WITH THE PROJECT TEAM TO BE SUITABLE FOR USE IN BIDDING AND CONSTRUCTION.

MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOWANA, NEW JERSEY 07511-0588
PHONE: (973) 812-6880 - FACSIMILE: (973) 812-6881
Email: mcb@mcba.com Website: www.mcba.com

MATTHEW G. CLARK
Professional Engineer License No. 35099
Professional Seal of the Professional Engineer, State of New Jersey

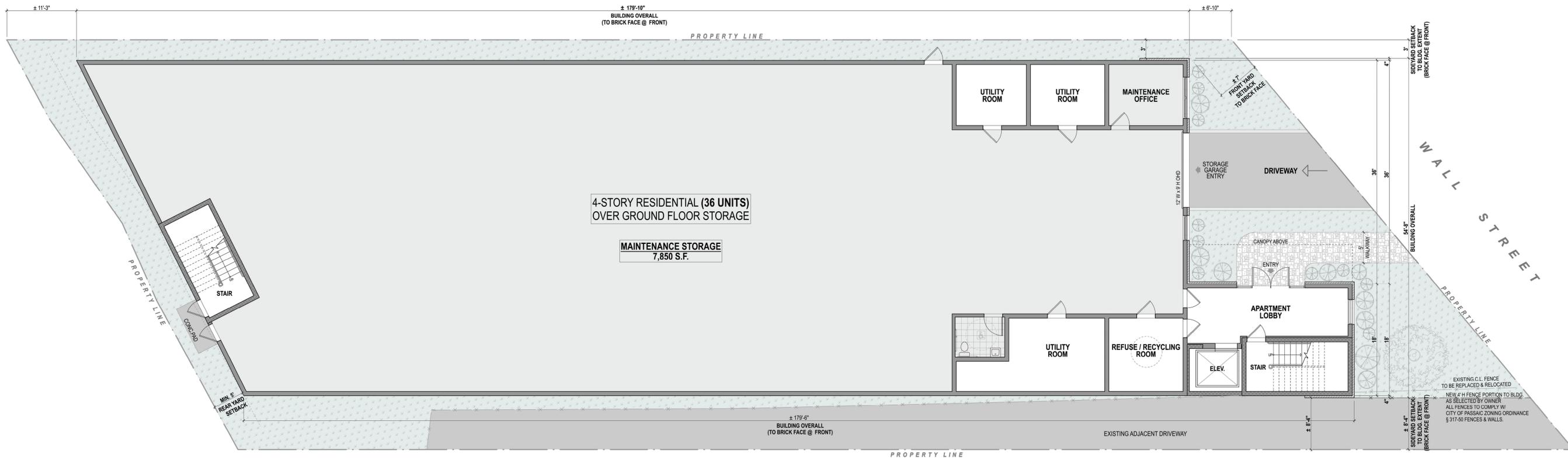
NOTE: DETAILS PROVIDED "AS-NEEDED". DISREGARD DETAILS THAT ARE NOT APPLICABLE.



| UNIT TOTALS | |
|-----------------------|--|
| GROUND FLOOR: | MAINTENANCE STORAGE |
| SECOND FLOOR: | (3) 1-BEDROOM UNITS (6) 2-BEDROOM UNITS |
| THIRD FLOOR: | (3) 1-BEDROOM UNITS (6) 2-BEDROOM UNITS |
| FOURTH FLOOR: | (3) 1-BEDROOM UNITS (6) 2-BEDROOM UNITS |
| FIFTH FLOOR: | (3) 1-BEDROOM UNITS (6) 2-BEDROOM UNITS |
| 36 TOTAL UNITS | |

TYPICAL FLOOR PLAN (2ND - 5TH FLOORS)

SCALE: 1/8"=1'-0"



GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"



OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omlkarchitects.com
 t. 201.689.7720
 e. om@omlkarchitects.com

[Signature]
 Onyiah M. Maric
 N.J. Lic. No. 15920 N.Y. Lic. No. 026471-1

**Proposed 5-Story Multi-Family (36 Units)
 Residential & Storage Building @
 54-58 Wall Street, Passaic, NJ 07055
 BLOCK: 5000 LOT: 1 (EXISTING)
 BLOCK: 1017 LOT: 1 (PROPOSED)**

| | |
|----------|-----------|
| 1822 | proj. no. |
| 03/30/20 | date |
| LK | drawn |
| OM | check |
| as noted | scale |

Z-1



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

| no. | description | date |
|-----|-------------|------|
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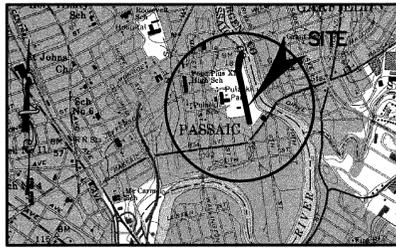
OMLK Architects Inc.
 66 Willow Avenue
 Hoboken, NJ 07030
 omlkarchitects.com
 t. 201.689.7220
 e. om@omlkarchitects.com

[Signature]
 Orlando Marinazzo
 N.J. Lic. No. 15520 N.Y. Lic. No. 026471-1

**Proposed 5-Story Multi-Family (36 Units)
 Residential & Storage Building @
 54-58 Wall Street, Passaic, NJ 07055
 BLOCK: 5000 LOT: 1 (EXISTING)
 BLOCK: 1017 LOT: 1 (PROPOSED)**

| | |
|----------|-----------|
| 1822 | proj. no. |
| 03/30/20 | date |
| LK | drawn |
| OM | check |
| as noted | scale |

Z-3



LOCATION MAP - USC&G QUAD
SCALE 1 : 2,000

| | | |
|---|---------------|--------------|
| A | S 41°11'09" W | 8.82' (SUR) |
| B | S 37°30'11" W | 21.35' (SUR) |
| C | S 35°13'20" W | 12.24' (SUR) |
| D | S 47°17'26" W | 17.69' (SUR) |
| E | S 36°58'24" W | 19.95' (SUR) |
| F | S 39°05'23" W | 4.48' (SUR) |

P.O.B.
N.739,860.3307
E.599,379.9235

TIDELANDS GRANT TO CITY OF
PASSAIC LIBER U, PG 792
RIGHT, TITLE AND OR INTEREST
IN AND TO FORMER BERGEN
COUNTY RAILROAD UNCERTAIN

AREA NOTED AS PART
OF LOT 1, BLOCK
5000 ON CITY OF
PASSAIC TAX MAP

| | | |
|---|---------------|--------------|
| A | N 49°21'06" E | 27.36' (SUR) |
| B | N 53°58'21" E | 13.60' (SUR) |
| C | N 43°01'30" E | 20.52' (SUR) |
| D | N 49°39'41" E | 14.51' (SUR) |

NOTES:

1. THIS SURVEYOR IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS ARE PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.
2. THIS SURVEYOR HAS NOT BEEN RETAINED TO MAKE ANY DETERMINATIONS AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THIS MATTER SEPARATE AND APART FROM THIS SURVEY.
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4. SURVEY DATA PORTRAYED HEREON IS BASED UPON FIELD OBSERVATIONS COLLECTED IN APRIL OF 2019
5. BASIS FOR BEARINGS IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATE SYSTEM, UNITED STATES SURVEY FOOT, GROUND COORDINATES.
6. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH A TITLE SEARCH PROVIDED BY THE CLIENT. SEARCH PREPARED BY PASSAIC VALLEY TITLE SERVICE, INC., DATED SEPTEMBER 14, 2017. SURVEY IS SUBJECT TO SUCH FACTS AS MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH INTO THE PROPERTY-IN-QUESTION AND THE IMMEDIATE ADJOINERS.

REFERENCES:

1. RIGHT OF WAY & TRACK MAP-BERGEN & DUNDEE RAILROAD CO., OPERATED BY ERIE RAILROAD CO. STATION 610-65 TO STATION 702-89, VALUATION MAP NO. 8, DATED JUNE 1918, REVISED THROUGH FEB 1976.
2. NJ BUREAU OF TIDELANDS CLAIMS ATLAS SHEET NO. 735-2148.
3. THIS MAP WAS DEVELOPED USING GEOGRAPHIC INFORMATION SYSTEM DIGITAL DATA DEVELOPED UNDER THE AUSPICES OF THE BUREAU OF TIDELANDS MANAGEMENT, NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUT THIS SECONDARY PRODUCT HAS NOT BEEN VERIFIED BY NUDEP AND IS NOT STATE-AUTHORIZED.

LEGEND

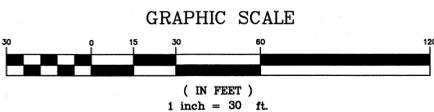
N 60°32'02" W
192.66' (SUR) = Survey Metes & Bounds

--- = Rail Road Right-of Way Line

--- = Existing Right-of-Way Line

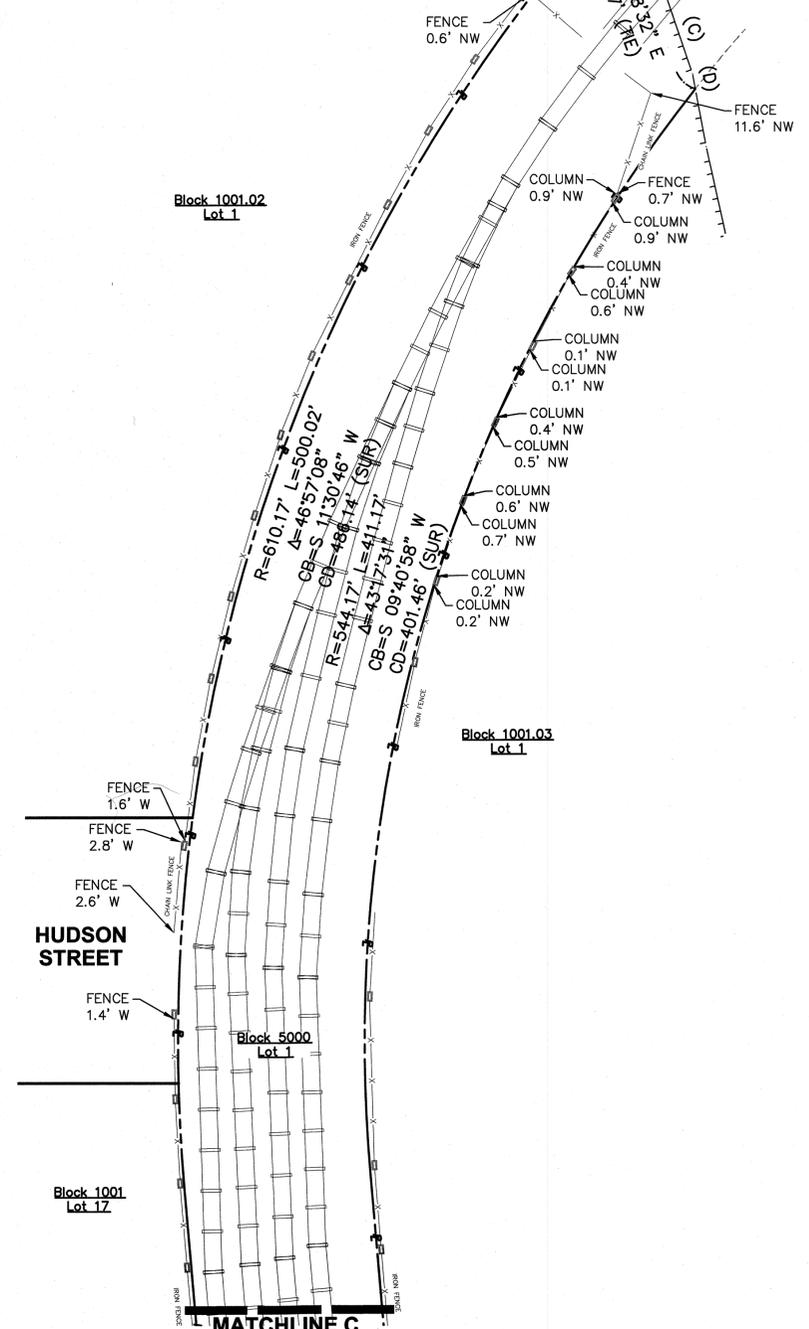
--- = Existing Lot Line (Deed Line)

--- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water



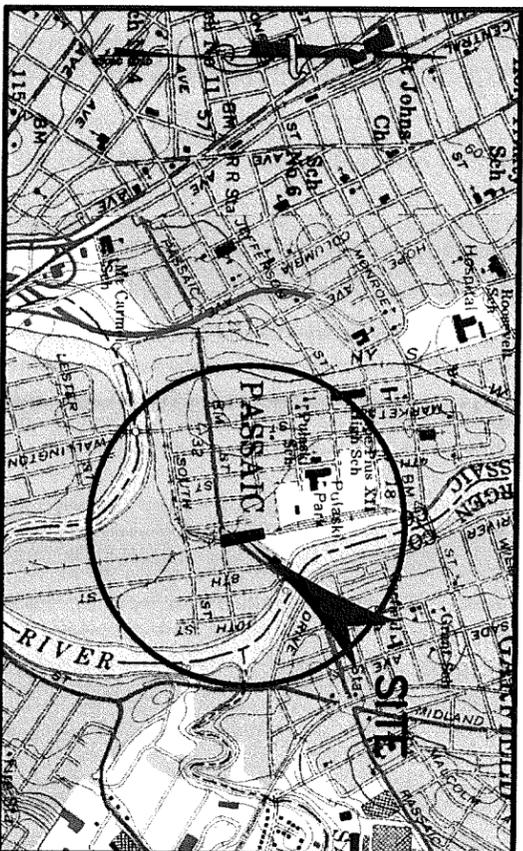
| | | |
|---|---------------|--------------|
| A | S 27°35'35" E | 5.40' (SUR) |
| B | S 30°52'46" E | 34.95' (SUR) |
| C | S 25°39'37" E | 30.02' (SUR) |
| D | S 17°37'11" E | 5.35' (SUR) |

PASSAIC RIVER
LANDS N/F
STATE OF NEW
JERSEY



| | | | | | |
|--|---|--|---|----------------------|----------------------------|
| DESCRIPTION OF REVISION | | DATE | DRAWN | CHECKED | RELEASED |
| SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000, LOT 1. | | | | | |
| SITUATED IN THE CITY OF PASSAIC | | | | | |
| PASSAIC COUNTY, NJ | | | | | |
| | | | | | |
| 3411 BORDENTOWN AVENUE, PARLIN, NEW JERSEY 08859-1162 1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-1914 | | | | | |
| JOHN H. ALLGAR P.E. & P.P. NJ PE LIC NO. 35889 | DAVID J. SAMUEL P.E. & P.P. NJ PE LIC NO. 35889 | JOHN J. STEFANI P.E. L.S. & P.P. NJ PE & L.S. LIC NO. 34971 | MICHAEL J. MCGURU P.L.S. NEW JERSEY PROFESSIONAL LAND SURVEYOR LIC. 38338 | | |
| JAY B. CORNELL P.E. & P.P. NJ PE LIC NO. 35942 | MICHAEL J. MCCLELLAND P.E. & P.P. NJ PE LIC NO. 3874 | GREGORY R. VALESI P.E. & P.P. NJ PE LIC NO. 34458 | SCALE 1" = 30' | DATE JANUARY 2020 | DRAWN BY MLB |
| DATE 1/29/2020 | | | CHECKED BY M.J.M. | SHEET 1 of 1 | DRAWING NO. P.YR5420.02 |

FILE PATH: G:\USORP\01\10-24-2019-01\Survey\SURVEYS-DUNDEE RR.dwg



LOCATION MAP - USC&G QUAD
SCALE 1 : 2,000

LEGEND

N 60°32'02" W
192.66' (SUR) = Survey Metes & Bounds

----- = Rail Road Right-of Way Line

----- = Existing Right-of-Way Line

----- = Existing Lot Line (Deed Line)

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NOTES:

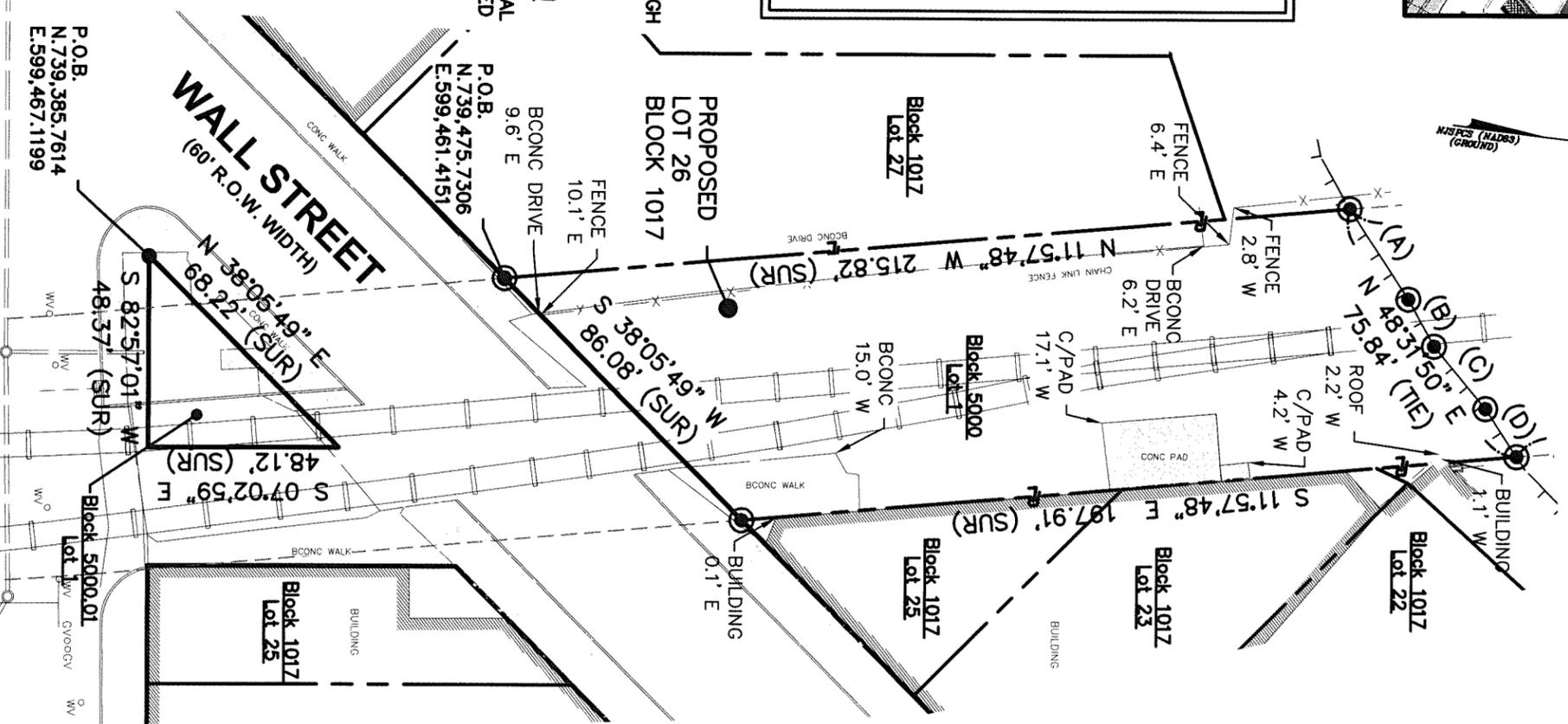
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GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

| | | |
|---|---------------|--------------|
| A | N 49°21'06" E | 27.36' (SUR) |
| B | N 53°58'21" E | 13.60' (SUR) |
| C | N 43°01'30" E | 20.52' (SUR) |
| D | N 49°39'41" E | 14.51' (SUR) |



⊙ = CAP/PIN SET JANUARY 2020

| NO. | DESCRIPTION OF REVISION | DATE | DRAWN | CHECKED | RELEASED |
|-----|-------------------------|------|-------|---------|----------|
| | | | | | |

SURVEY OF LANDS N/F THE BERGEN COUNTY RAILROAD, CO., BLOCK 5000, LOT 1 AND BLOCK 5000.01 LOT 1

SITUATED IN

CITY OF PASSAIC

PASSAIC COUNTY, NJ



(732) 777 8000

CONSULTING AND MUNICIPAL ENGINEERS

(732) 462 7400

341 ROXBOROUGH AVENUE, PARK, NEW JERSEY 08869-4462

1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-4194

JOHN H. ALGAR P.E. & P.P.
NJ PE LIC NO. 35962

DAVID J. SAMUEL P.E. & P.P.
NJ PE LIC NO. 20288

JOHN J. STEVANI P.E. L.S. & P.P.
NJ PE LIC NO. 20897

JAY B. CORNELL P.E. & P.P.
NJ PE LIC NO. 38724

MICHAEL J. MCQUELAND P.E. & P.P.
NJ PE LIC NO. 32446

GREGORY R. VALES P.E. & P.P.
NJ PE LIC NO. 43561

MICHAEL J. MCGURL P.L.S.
NEW JERSEY PROFESSIONAL LAND SURVEYOR

LIC. 38338

DATE 1/29/2020

CHECKED BY M.A.M.

FILE NO.

DRAWING NO. PYR05420.02

REGISTERED
M.J.M.

SHEET 1 OF 1

CITY OF PASSAIC - DEVELOPMENT APPLICATION

**Planning Board Application
Variance and Preliminary and Final Site Plan Approval**

1. Project Address: N.A Block 5000.02 Lot 1

(Former New York and Greenwood Lake Railroad yard located on the corner of Passaic Street, Sixth Street and South Street.)

(Project address, lot and block number to be provided by applicant)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

2. APPLICANT INFORMATION

a. IF APPLICANT IS AN INDIVIDUAL: NOT APPLICABLE

Name of Corporation/Partnership: _____
Address _____
City _____ State _____ Zip _____
Telephone _____ Facsimile _____
Email _____

b. IF APPLICANT IS A CORPORATION or PARTNERSHIP, LLC

Name: Passaic Street Properties, LLC
Address: 694 Main Avenue
City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

c. CORPORATION/PARTNERSHIP REPRESENTATIVE:

Name of Representative: Fadi Samaan
Address: 694 Main Avenue
City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

d. List all stockowners or partners owning 10% or greater in the corporation:

Name: Fadi Samaan
Address: 694 Main Avenue

City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

CITY OF PASSAIC DEVELOPMENT APPLICATION

Name _____
Address _____
City _____ State _____ Zip _____
Telephone _____ Facsimile _____
Email _____

3. APPLICANT ATTORNEY INFORMATION:

Name: Charles H. Sarlo, Esq.
Address: 777 Terrace Avenue, Suite 607
City : Hasbrouck Heights, N.J. 07604
Telephone: 201-288-2665 Facsimile: 201-288-2662
Email: chslaw@optonline.net

Applicant: If you are an individual, you are not required to have an attorney represent you; however it is strongly recommended that you do retain an attorney to present your application and to preserve your interests. Please also note that should you originally elect to not have an attorney represent you, you may change your mind at any time to have an attorney represent you and have one present at your hearing. If you choose to not have an attorney represent you, then please complete the certification below.

_____, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and choose not have an attorney represent me at this time.

N.A. _____
Applicant's Signature

Applicant's Printed/Typed

State of _____
County _____
Sworn to and subscribed before me
this _____ day of _____, _____

Notary Public My Commission expires _____

CITY OF PASSAIC DEVELOPMENT APPLICATION

4. EXPERT/DESIGN PROFESSIONAL/WITNESS INFORMATION:

(Please provide a separate sheet for each individual)

Name: Osvaldo Martinez , RA.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: OMLK Architects llc.
Address: 66 Willow Avenue, Hoboken, NJ 07030
Telephone: 201.659.7220 Fax: NA
E-Mail: om@omlkarchitects.com

Name: Patrick D. McClellan, P.E.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: MCB Engineering Associates, LLC
Address: P.O. Box 588, 11 Furler Street, Totowa, New Jersey 07511-0588
Phone: (973) 812-6680 Facsimile: (973) 812-6681
Email: pmcclellan@mcbea.com –

(For each Expert, please provide a current copy of the Experts CV.)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

5. Date property was acquired: March 29, 2018

6. Zoned as at time of purchase? CR-HD

Current Zoning: Redevelopment Plan, dated November 25, 2019
for Block 5000 Lot 1 and Block 5000.02 Lot 1

7. Current use of Property: Vacant / Former Railroad Storage Yard

CITY OF PASSAIC DEVELOPMENT APPLICATION

8. Proposed Use of Property:

A mixed use development consisting of proposed commercial uses fronting Passaic Street and a total of 208 residential units located in four separate buildings.

- Building 1, fronting Passaic Street, will 52 residential units in a five story building (ground floor being commercial units and parking and floors 2-5 having residential units).
- Building Nos. 2-4, all located parallel to Building No. 1 and parallel to each other, will each have 52 residential units in five story buildings (ground floor being parking and floors 2-5 having residential units).
- The commercial spaces along Passaic Street will be occupied by uses permitted by the Commercial Zoning District of the City, as required by the said Redevelopment Plan.

9. Is there any change in the occupancy or tenant involved with this application?

Yes No Not Applicable – Property is Vacant

10. Size of existing structure: Not Applicable – Structures to be Demolished

Length: Width: Height: # of stories: Total sq. ft.

11. Existing structure Setbacks:

Front: Approx. 50 ft Rear: Approx 30 ft Side: Approx 10 ft Side: Approx. 10 ft

Percentage of lot coverage Approx. 60%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space 0 % (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

12. Size of proposed structure:

Length: 226 ft 11 in Width: 62 ft

Height: 56 ft. # of stories: 5 Total sq. ft. Approx. 232,000 sq. ft

13. Proposed structure Setbacks:

Front: 0 ft (Passaic Street) Rear: 0 ft (South Street)

Side: 0 ft (Sixth Street) Side: 3 ft (southern side of lot)

Percentage of lot coverage Approx. 49.5%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

CITY OF PASSAIC DEVELOPMENT APPLICATION

Percentage of open space - Approx. 4.5%

(On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

14. If variances are requested, cite any exceptional conditions preventing applicant from complying with requirements of the zoning ordinance.

Not Applicable – No Exceptional Conditions – See Addendum to Application

15. If a bulk variance (subsection C) is required, set forth in detail the reason why zoning relief should be granted under the Municipal Land Use law.

See Addendum to Application

16. If a use variance (subsection D) is required, set forth in detail the reasons. Not Applicable

(On a separate sheets, please set fourth the positive and negative criteria required to be presented for consideration so that the Board my properly weigh the merits of the application.)

17. Are there any:

a. Deed restrictions on the property? Yes No

(If yes, please attach a copy of all such deed restrictions and associated survey if applicable.)

b. Easements involved with application? Yes No

(If yes, please attach a copy of all such easements and associated survey if applicable.)

c. Conditional contract sales agreement on property? Yes No

d. Outstanding taxes on this property? Yes No

(If no, please attach certification of payment from the Tax Collector.)

18. Please complete Certification.

Fadi Samaan, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and that all information presented in this application and all supporting documents is true and accurate.

By: _____
Fadi Samaan, Managing Member

State of New Jersey
County of Passaic
Sworn to and subscribed before me
this _____ day of _____, _____

Notary Public My Commission expires _____

NOT APPLICABLE: If applicant is not the owner of the property on which the application is submitted for, owner must sign consent or applicant must provide this application with notarized letter of consent from said owner.

As owner of the property which is the subject of this application, I hereby authorize _____ to make this application on my behalf and further depose and say that all of the above statements and statements made in documents submitted herewith are true to the best of my knowledge.

By: _____

Owner's Signature

ADDENDUM
TO CITY OF PASSAIC - DEVELOPMENT APPLICATION
Planning Board Application
Variance and Preliminary and Final Site Plan Approval
Block 5000.02 Lot 1

Page 1 of 2

Existing Property:

Vacant Site. Former New York and Greenwood Lake Railroad railcar storage yard.

Proposed Development:

Mixed use development consisting of proposed commercial uses fronting Passaic Street and a total of 208 residential units located in four separate buildings.

- Building 1, fronting Passaic Street, will 52 residential units in a five story building (ground floor being commercial units and parking and floors 2-5 having residential units).
- Building Nos. 2-4, all located parallel to Building No. 1 and parallel to each other, will each have 52 residential units in five story buildings (ground floor being parking and floors 2-5 having residential units).
- The commercial spaces along Passaic Street will be occupied by uses permitted by the Commercial Zoning District of the City, as required by the said Redevelopment Plan.

Applicable Zoning:

Block 5000 Lot 1 is subject to a Redevelopment Plan, dated November 25, 2019, which was adopted by the City Council as the Zoning Ordinance for this property pursuant to the Local Housing and Redevelopment Law, N.J.S.A. 40:12A-1 *et seq.*

Variances Required:

- (i) side yard setback along Sixth Street (0 ft proposed and 3 ft required);
- (ii) rear yard setback along South Street (5 ft required and 0 ft proposed);
- (iii) parking stall size (9 ft x 19 ft. required and 19 ft x 8.5 ft proposed)
- (iv) parking aisle width (25 ft required and 24 ft. proposed).

The Applicant requires preliminary and final site plan approval. The proposed development will have excess parking spaces based on the parking standards set forth in the said Redevelopment Plan. The excess parking will be used to support a separate proposed development by the Applicant, located at a portion of Block 5000 Lot 1 (i.e., former New York and Greenwood Lake Railroad line) fronting Wall Street, which is proposed for development of 36 multi-family units

Preliminary and Final Site Plan Approval Required

Subject to Final Rail Line Abandonment by Washington Surface Transportation Board

CITY OF PASSAIC DEVELOPMENT APPLICATION

SITE PLAN CHECKLIST § 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

** Site Plan Checklist must be sealed by a NJ licensed Architect **

Applicant’s Name: Passaic Street Properties, LLC

Project Address: Block 5000.02 Lot 1

(Former New York and Greenwood Lake Railroad yard located on the corner of Passaic Street, Sixth Street and South Street.)

Date of Site Plan or Latest Revision: 3/27/2020 – Architectural (3 sheets) and Engineering Drwgs.

§ 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

A. There shall be a key map showing the location of the subject property with reference to surrounding areas and existing street intersections.

XX Complete Incomplete Not Applicable

B. The proposed site plan shall show, in scale, the property lines of the entire parcel of land for which site plan approval is sought and indicate the dimensions of said property.

XX Complete Incomplete Not Applicable

C. The proposed site plan shall include the name of the applicant, the date the proposed site plan was prepared, a North arrow, the scale to which the proposed site plan is drawn, the name and seal of the person who prepared the proposed site plan, the block and lot numbers of the lands for which the site plan approval is sought as shown on the most current tax assessment maps of the City of Passaic and the names of all streets abutting such lot and block. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

D. The proposed site plan shall include the names of all owners of adjacent property, together with block and lot numbers of such property.

XX Complete Incomplete Not Applicable

E. The site plan shall show the zoning district in which the parcel is located, together with zone boundaries within 100 feet there from.

XX Complete Incomplete Not Applicable

F. The location of all existing and proposed buildings and structures on the lands for which site plan approval is sought, together with the distances of said buildings and structures from the property lines of said lands and from each other.

XX Complete Incomplete Not Applicable

CITY OF PASSAIC DEVELOPMENT APPLICATION

H. A statement by the owner of whether any property adjoining the lands for which site plan approval is sought or is not owned by said owner. NO ADJOINING LAND IS OWNED BY APPLICANT

XX Complete Incomplete Not Applicable

I. The location and dimensions of all existing and proposed driveways, curb cuts, private access roads, curbing, parking areas, parking stalls, loading areas and loading bays and the location of all existing driveways within 200 feet of the lot.

XX Complete Incomplete Not Applicable

J. The proposed landscaping, screening and exterior lighting, including the location, number, size and type of existing landscaping and trees to remain; the location, number, size and type of trees, shrubs and landscaping to be installed; and the location, type, height, intensity and illumination area of any lighting to be installed.

XX Complete Incomplete Not Applicable Waived

K. Arrows, which indicate the direction of traffic on all driveways, interior drives and parking areas.

XX Complete Incomplete Not Applicable

L. The location of any existing and proposed railroad sidings, streams, drainage rights-of-way, water or other utility rights-of-way or easements.

Complete Incomplete XX Not Applicable Waived

M. Existing and proposed drainage facilities and drainage calculations.

XX Complete Incomplete Not Applicable Waived

N. Existing and proposed contour lines at two-foot intervals or a sufficient number of spot elevations. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

O. The proposed use or uses of land and buildings, together with floor space of all buildings. If the precise use of the building is unknown at the time of application, an amended plan showing the proposed use shall be required prior to issuance of a certificate of occupancy.

XX Complete Incomplete Not Applicable

P. The site plan shall show the location and design of any off-street parking areas or loading areas, showing size and location of bays, aisles and barriers. Parking stalls shall be numbered for identification. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

CITY OF PASSAIC DEVELOPMENT APPLICATION

Q. The site plan shall show the location and type of garbage and refuse disposal facilities, including maneuvering areas.

XX Complete Incomplete Not Applicable Waived

R. Where applicable, the site plan shall show the location and treatment of open space.

XX Complete Incomplete Not Applicable Waived

S. Front, rear and side building elevations drawn to scale. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

T. Where applicable, the following information shall be provided: (1) The number of employees. (2) A narrative describing nature of operation or activities to occur on the site. (3) A narrative describing trucking on the site; number and size of trucks used in the applicant's operation; number, size and frequency of trucks making deliveries; and time of loading and unloading operations.

XX Complete Incomplete Not Applicable Waived

Residential Building. First Floor is Maintenance Garage to support maintenance for building and secondary development at Sixth Street. (2-3 maintenance employees)

U. The existing and proposed sanitary sewerage. [Added 9-17-1987 by Ord. No. 990-87EN]

XX Complete Incomplete Not Applicable Waived

V. The location of fire hydrants within 200 feet of site. [Added 9-17-1987 by Ord. No. 990-87]

Complete XX Incomplete Not Applicable Waived

W. A place for the signatures of the Chairman and Secretary of the reviewing board. [Added 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

X. The location of storage space for recyclables. [Added 7-7-1988 by Ord. No. 1026-88EN] (1) In residential uses, including mixed uses, the plan should show both the area within the dwelling units and the central collection area. (2) In commercial or industrial uses, in addition to showing the actual location on the site plan, the applicant must submit documentation of recyclables to be generated and the calculations which determined the floor area required.

XX Complete Incomplete Not Applicable Waived

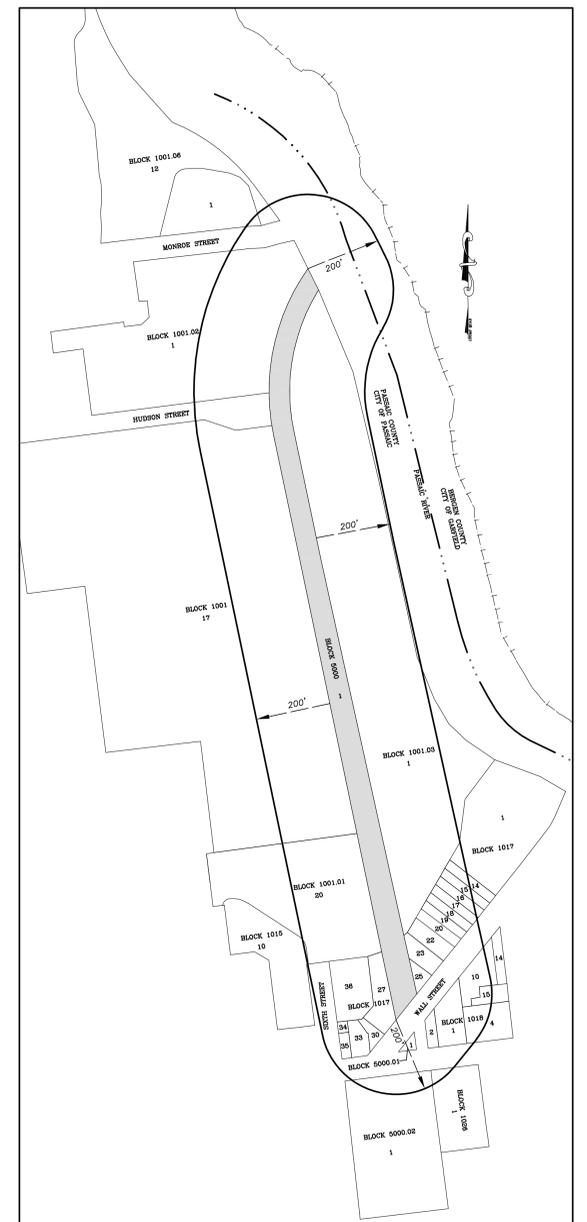
Y. Such other data or information that reasonably may be necessary for the Planning Board to meet the objectives of site plan approval in acting on a particular application.

XX Complete Incomplete Not Applicable

Z. The proposed site plan shall include a zoning table comparing the ordinance requirements to the proposal. XX Complete Incomplete Not Applicable Waived



| | | |
|---|---------------|-------------|
| A | S 27°35'35" E | 5.40' (SD) |
| B | S 30°52'46" E | 34.95' (SD) |
| C | S 25°39'37" E | 30.02' (SD) |
| D | S 17°37'11" E | 5.35' (SD) |

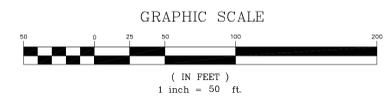


200-FOOT SURROUNDS MAP
N.T.S.

| BLOCK-LOT | OWNER | MAILING ADDRESS |
|-------------|--------------------------------------|---|
| 1017-23 | CAMACHO EZEQUIEL & FELICITA H/W | 41 MAPLEWOOD AVE. CLIFTON, NJ 07011 |
| 1017-27 | 60WALL ST. PASSAIC LLC C/O LOTITO | PO BOX 889, CLIFFSIDE PARK, NJ 07010 |
| 1017-25 | ABASI ALI R | 105 OVERLOOK RD. POMONA, NY 10970 |
| 1018-15 | MASNY JAN & MASNY STASIA | 39 WALL ST. PASSAIC, NJ 07055 |
| 1017-34 | ALLEN DEXTER | 192 SIXTH ST. PASSAIC, NJ 07055 |
| 1018-10 | MASNY JAN & W | 35 WALL ST. PASSAIC, NJ 07055 |
| 1017-36 | HOUSING AUTH OF CITY OF PASSAIC | 32 ASPEN PL. PASSAIC, NJ 07055 |
| 1018-4 | SINGH HARBIHAJAN ETALS | 476 COLLINS AVE. HASBROUCK HEIGHTS, NJ 07064 |
| 1017-33 | 100 PASSAIC ST PARTNERS LLC | PO BOX 387, CEDARHURST, NY 11516 |
| 1018-2 | 141 THIRD ST LLC | 141 THIRD ST. PASSAIC, NJ 07055 |
| 1017-35 | VAZQUEZ ENTERPRISES LLC | 42 EDWARD CT. CLIFTON, NJ 07011 |
| 1018-1 | 43 PROSPECT PL. BELLEVILLE, NJ 07109 | |
| 1026-1 | ROSEN, MARVIN & SAUNDRA H/W | 17 MAPLEWOOD DR. PARSIPPANY, NJ 07054 |
| 5000.02-1 | PASSAIC ST PROPERTIES LLC | 694 MAIN ST. PASSAIC, NJ 07055 |
| 1017-30 | WALL STREET PASSAIC LLC | 71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640 |
| 1017-30-B01 | WALL STREET PASSAIC LLC | 71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640 |
| 1017-30-B02 | WALL STREET PASSAIC LLC | 71 MT MT VERNON ST. RIDGEFIELD PARK, NJ 07640 |
| 5000.01-1 | PASSAIC ST PROPERTIES LLC | 694 MAIN ST. PASSAIC, NJ 07055 |

LEGEND

- N 60°32'02" W 192.66' (SUR) = Survey Metes & Bounds
- N 60°32'02" W 192.66' (SD) = Sub-Division Metes & Bounds
- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water
- = Property in Question Lot Line
- = Existing Right-of-Way Line
- = Existing Lot Line
- = Former Lot Line
- = Existing Easement Line
- = Monument Found
- = Iron Pipe/Capped Pin Found
- = Capped Pin Set
- = Concrete Marker Set



MATCH LINE (SHEET 1)

DESCRIPTION OF REVISION: SURVEY & MINOR SUB-DIVISION OF LANDS N/F PASSAIC ST. PROPERTIES LLC. BLOCK 5000, LOT 1. PREPARED FOR CITY OF PASSAIC. SITUATED IN PASSAIC COUNTY, NJ.

ASSOCIATES CONSULTING AND MUNICIPAL ENGINEERS (732) 727 8000 (732) 442 7400

3541 BORDENTOWN AVENUE, PARLIN, NEW JERSEY 08859-1962 1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-9194

| | | |
|----------------------------|-----------------------------------|----------------------------------|
| JOHN H. ALGAR P.E. & P.P. | DAVID J. SAMUEL P.E. & P.P. | JOHN J. STEFANI P.E. L.S. & P.P. |
| JAY B. CORNELL P.E. & P.P. | MICHAEL J. MCCLELLAND P.E. & P.P. | GREGORY R. VALESI P.E. & P.P. |

MICHAEL J. McCGURL P.L.S. NEW JERSEY PROFESSIONAL LAND SURVEYOR LIC. 38338

PRELIMINARY DATE 12/02/19

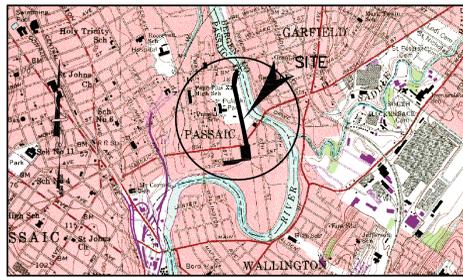
SCALE: 1"=50' DATE: DECEMBER 2019

CHECKED BY: MLD DESIGNED BY: MLD

CHECKED BY: M.J.M. SHEET 2 OF 2

FILE NO. P:\R05420.01 DRAWING NO. 2-U REGISTERED: M.J.M.

File Path: G:\SPROJECTS\19-02420-01\Drawings\Subdivision.dwg



LOCATION MAP - USC&G QUAD
SCALE 1 : 2,000

CITY OF PASSAIC ZONING SCHEDULE

ZONE: CR-HD (3) MIXED COMMERCIAL-RESIDENTIAL STRUCTURES

LOT INFORMATION

Proposed Lot 21 Block 1001.01 - Area = 5,577 SF +/-
 Proposed Lot 22 Block 1001.01 - Area = 12,225 SF +/-
 Proposed Lot 26 Block 1017 - Area = 13,622 SF +/-
 Owners Passaic St. Properties LLC
 Address: 694 Main Street, Passaic, NJ, 07055
 Existing Use: Former Railroad

| | Req. | Provided | Variance Req. |
|--------------------------------------|--------|--|---------------|
| MINIMUM LOT AREA (Sq. Ft.) | 10,000 | 5,577 (Lot 21) 12,225 (Lot 22) 13,622 (Lot 26) | Y N N |
| MIN. LOT WIDTH (Feet) | 75 | 66 (Lot 21) 66 (Lot 22) 66 (Lot 26) | Y Y Y |
| MIN. LOT DEPTH (Feet) | 100 | 84.38 (Lot 21) 184.87 (Lot 22) 206.86 (Lot 26) | Y N N |
| MIN. FRONT YARD (Feet) | 0 | 0 (Lot 21) 0 (Lot 22) 0 (Lot 26) | N N N |
| MIN. SIDE YARD (Feet) | - | - (Lot 21) - (Lot 22) - (Lot 26) | N N N |
| MIN. REAR YARD (Feet) | 10 | 10 (Lot 21) 10 (Lot 22) 10 (Lot 26) | N N N |
| MAX. LOT COVERAGE (Percent) | 50/30 | N/A (Lot 21) N/A (Lot 22) N/A (Lot 26) | N N N |
| MAX. HEIGHT (Stories/Feet) | - | N/A (Lot 21) N/A (Lot 22) N/A (Lot 26) | N N N |
| MAX DENSITY (DWELLING UNITS PER Ac.) | 60 | N/A (Lot 21) N/A (Lot 22) N/A (Lot 26) | N N N |
| MIN. OPEN SPACE | - | - (Lot 21) - (Lot 22) - (Lot 26) | N N N |
| DENSITY FAR | 3 | N/A (Lot 21) N/A (Lot 22) N/A (Lot 26) | N N N |

* PROPOSED LOTS 21, 22, & 26 TO BE MERGED INTO LOT 26.01 BLOCK 1017

ZONE: R-3 (1-FAMILY DWELLING)

LOT INFORMATION

Proposed Lot 2 Block 1001.03 - Area = 101,388 SF +/-
 Owners Passaic St. Properties LLC
 Address: 694 Main Street, Passaic, NJ, 07055
 Existing Use: Former Railroad

| | Req. | Provided | Variance Req. |
|--------------------------------------|-------|----------|---------------|
| MINIMUM LOT AREA (Sq. Ft.) | 3,000 | 101,388 | N |
| MIN. LOT WIDTH (Feet) | 30 | 66 | N |
| MIN. LOT DEPTH (Feet) | 100 | 1,537 | N |
| MIN. FRONT YARD (Feet) | 20 | 20 | N |
| MIN. SIDE YARD (Feet) | 3/8 | 3/8 | N |
| MIN. REAR YARD (Feet) | 25 | 25 | N |
| MAX. LOT COVERAGE (Percent) | 40 | N/A | N |
| MAX HEIGHT (Stories/Feet) | 3/35 | N/A | N |
| MAX DESSITY (DWELLING UNITS PER Ac.) | - | N/A | N |
| MIN. OPEN SPACE | - | N/A | N |
| DENSITY FAR | - | N/A | N |

LEGEND

- N 60°32'02" W 192.66' (SUR) = Survey Metes & Bounds
- N 60°32'02" W 192.66' (SD) = Sub-Division Metes & Bounds
- = Line as Established by the State of New Jersey - Lands N/F Below Mean High Water
- = Property in Question Lot Line
- = Existing Right-of-Way Line
- = Existing Lot Line
- = Former Lot Line
- = Existing Easement Line
- = Monument Found
- = Iron Pipe/Capped Pin Found
- = Capped Pin Set
- = Concrete Marker Set

REFERENCES:

- RIGHT OF WAY & TRACK MAP-BERGEN & DUNDEE RAILROAD CO., OPERATED BY ERIE RAILROAD CO. STATION 610-66 TO STATION 702-89, VALUATION MAP NO. 8, DATED JUNE 1918, REVISED THROUGH FEB 1976.
- NJ BUREAU OF TIDELANDS CLAIMS ATLAS SHEET NO. 735-2148.
- THIS MAP WAS DEVELOPED USING GEOGRAPHIC INFORMATION SYSTEM DIGITAL DATA DEVELOPED UNDER THE AUSPICES OF THE BUREAU OF TIDELANDS MANGEMENT, NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUT THIS SECONDARY PRODUCT HAS NOT BEEN VERIFIED BY NJDEP AND IS NOT STATE-AUTHORIZED.
- DEED BOOK H-13 PG. 311

NOTES:

- THIS SURVEYOR IS NOT QUALIFIED TO MAKE A DETERMINATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF ENVIRONMENTALLY UNSAFE CONDITIONS ARE PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR HAS NOT BEEN RETAINED TO MAKE ANY DETERMINATIONS AS TO THE EXISTENCE OR NON-EXISTENCE OF WETLANDS. THEREFORE, NO STATEMENT IS BEING MADE OR IMPLIED HEREON, NOR SHOULD IT BE ASSUMED OR CONSTRUED THAT ANY STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THIS MATTER SEPARATE AND APART FROM THIS SURVEY.
- THIS SURVEYOR CONDUCTED NO UNDERGROUND EXPLORATIONS. THEREFORE, ONLY THOSE PHYSICAL FEATURES WHICH WERE PLAINLY VISIBLE AT THE TIME OF THIS SURVEY ARE PORTRAYED HEREON.
- SURVEY DATA PORTRAYED HEREON IS BASED UPON FIELD OBSERVATIONS COLLECTED IN OCTOBER & NOVEMBER OF 2018.
- THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH A TITLE SEARCH PROVIDED BY THE CLIENT. SEARCH PREPARED BY PASSAIC VALLEY TITLE SERVICE, INC., DATED SEPTEMBER 14, 2017. SURVEY IS SUBJECT TO SUCH FACTS AS MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH INTO THE PROPERTY-IN-QUESTION AND THE IMMEDIATE ADJOINERS.
- BASIS FOR BEARINGS IS THE NORTH AMERICAN DATUM OF 1983, NEW JERSEY STATE PLANE COORDINATE SYSTEM, UNITED STATES SURVEY FOOT.
- RECORD TITLE DOCUMENTS PROVIDED BY CLIENT OR CLIENT'S REPRESENTATIVE.

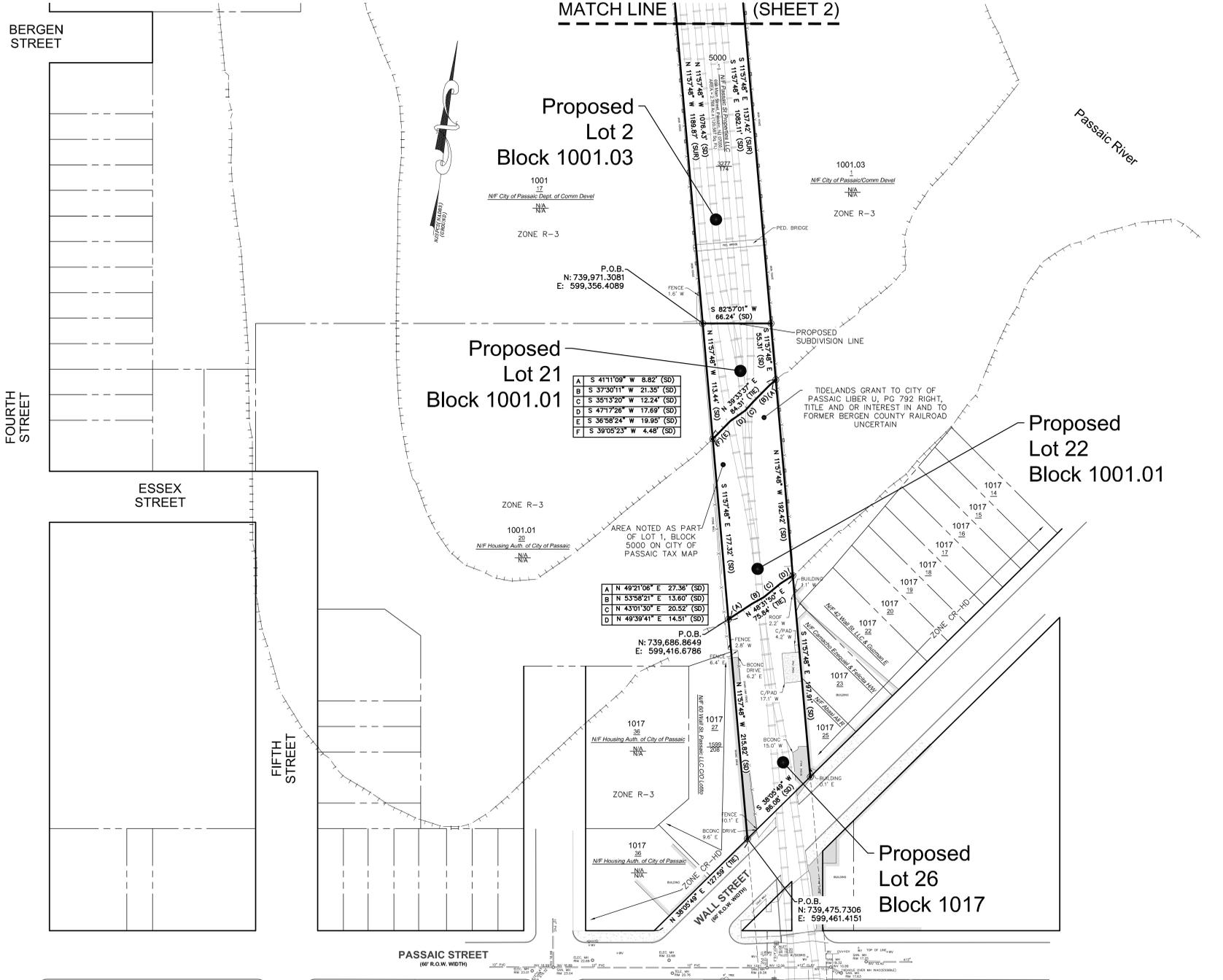
PASSAIC ST. PROPERTIES LLC HEREBY DECLARES THAT THEY ARE THE OWNERS OF ALL THE LANDS BEING SUBDIVIDED BY THIS MAP AND HEREBY CONSENTS TO THE FILING OF THIS SUBDIVISION WITH THE CITY OF PASSAIC PLANNING BOARD

REPRESENTATIVE FOR PASSAIC ST. PROPERTIES LLC DATE

THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE CITY OF PASSAIC IS THE "PROPER AUTHORITY" AND, HAVING REVIEWED THIS MAP, FINDS IT TO BE IN COMPLIANCE WITH THE "MAP FILING LAW" AND ALL LOCAL ORDINANCES APPLICABLE THERETO AND HAS APPROVED THIS MAP FOR FILING IN THE OFFICE OF THE CLERK OF PASSAIC COUNTY ON OR BEFORE THE _____ DAY OF _____ 2020. AFTER THIS DATE MUNICIPAL APPROVAL SHALL EXPIRE.

MUNICIPAL CLERK OR SECRETARY OF THE PLANNING BOARD DATE

CHAIRMAN OF THE PLANNING BOARD DATE



OWNER:

PASSAIC ST. PROPERTIES LLC
694 MAIN ST., PASSAIC, N.J., 07055

APPLICANT:

CITY OF PASSAIC
PASSAIC, N.J., 07055

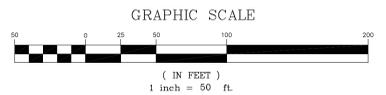
*LOTS 21 & 22, BLOCK 1001.01, AND LOT 26, BLOCK 1017 TO BE MERGED INTO LOT 26.01, BLOCK 1017 AFTER SUBDIVISION

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THERETO.

MUNICIPAL ENGINEER
CITY OF PASSAIC

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED JANUARY 11, 2019 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

MICHAEL J. MCGURL P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 38338



| | | | | | |
|---|-------------------------------|----------------------------------|-------|---------|----------|
| NO. | DESCRIPTION OF REVISION | DATE | DRAWN | CHECKED | RELEASED |
| SURVEY & MINOR SUB-DIVISION OF LANDS N/F PASSAIC ST. PROPERTIES LLC. BLOCK 5000, LOT 1 PREPARED FOR CITY OF PASSAIC SITUATED IN CITY OF PASSAIC PASSAIC COUNTY, NJ | | | | | |
| | | | | | |
| (732) 727 8000 3441 BORDENTOWN AVENUE, PARLIN, NEW JERSEY 08859-1902 1460 ROUTE 9 SOUTH, HOWELL, NEW JERSEY 07731-9194 (732) 462 7400 | | | | | |
| JOHN H. ALGAR P.E. & P.P. | DAVID J. SAMUEL P.E. & P.P. | JOHN J. STEFANI P.E. L.S. & P.P. | | | |
| JAY B. CORNELL P.E. & P.P. | MICHAEL J. MCGURL P.E. & P.P. | GREGORY R. VALES P.E. & P.P. | | | |
| MICHAEL J. MCGURL P.L.S. NEW JERSEY PROFESSIONAL LAND SURVEYOR LIC. 38338 DRAWN BY: MLB DESIGNED BY: MLB PRELIMINARY DATE: 12/02/19 CHECKED BY: MJM SHEET: 1 of 2 | | | | | |

CITY OF PASSAIC - DEVELOPMENT APPLICATION

**Planning Board Application
Subdivision, Preliminary and Final Site Plan Approval, Parking Variance**

1. Project Address: N.A Block 5000 Lot 1

(Project address, lot and block number to be provided by applicant)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

2. APPLICANT INFORMATION

a. IF APPLICANT IS AN INDIVIDUAL: NOT APPLICABLE

Name of Corporation/Partnership: _____
Address _____
City _____ State _____ Zip _____
Telephone _____ Facsimile _____
Email _____

b. IF APPLICANT IS A CORPORATION or PARTNERSHIP, LLC

Name: Passaic Street Properties, LLC
Address: 694 Main Avenue
City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

c. CORPORATION/PARTNERSHIP REPRESENTATIVE:

Name of Representative: Fadi Samaan
Address: 694 Main Avenue
City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

d. List all stockowners or partners owning 10% or greater in the corporation:

Name: Fadi Samaan
Address: 694 Main Avenue
City: Passaic State: N.J. Zip: 07055
Telephone: 973-931-6733 Facsimile: NA
Email fsamaan@aol.com

CITY OF PASSAIC DEVELOPMENT APPLICATION

Name _____
Address _____
City _____ State _____ Zip _____
Telephone _____ Facsimile _____
Email _____

3. APPLICANT ATTORNEY INFORMATION:

Name: Charles H. Sarlo, Esq.
Address: 777 Terrace Avenue, Suite 607
City : Hasbrouck Heights, N.J. 07604
Telephone: 201-288-2665 Facsimile: 201-288-2662
Email: chslaw@optonline.net

Applicant: If you are an individual, you are not required to have an attorney represent you; however it is strongly recommended that you do retain an attorney to present your application and to preserve your interests. Please also note that should you originally elect to not have an attorney represent you, you may change your mind at any time to have an attorney represent you and have one present at your hearing. If you choose to not have an attorney represent you, then please complete the certification below.

_____, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and choose not have an attorney represent me at this time.

N.A. _____
Applicant's Signature

Applicant's Printed/Typed

State of _____
County _____
Sworn to and subscribed before me
this _____ day of _____, _____

Notary Public My Commission expires _____

CITY OF PASSAIC DEVELOPMENT APPLICATION

4. EXPERT/DESIGN PROFESSIONAL/WITNESS INFORMATION:

(Please provide a separate sheet for each individual)

Name: Osvaldo Martinez , RA.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: OMLK Architects llc.
Address: 66 Willow Avenue, Hoboken, NJ 07030
Telephone: 201.659.7220 Fax: NA
E-Mail: om@omlkarchitects.com

Name: Patrick D. McClellan, P.E.

EXPERT: XX DESIGN PROFESSIONAL XX WITNESS XX

(The individual above will has participated in this application as/will be appearing as, please circle all that apply)

Firm: MCB Engineering Associates, LLC
Address: P.O. Box 588, 11 Furler Street, Totowa, New Jersey 07511-0588
Phone: (973) 812-6680 Facsimile: (973) 812-6681
Email: pmcclellan@mcbea.com –

(For each Expert, please provide a current copy of the Experts CV.)

Note: If an EXPERT/DESIGN PROFESSIONAL/WITNESS is going to be asking that items be marked as exhibits, use visual displays during their testimony, we ask that twelve legible, readable copies of each exhibit or visual display be provided with the application for distribution to facilitate review by the Zoning Board.

5. Date property was acquired: March 29, 2018

6. Zoned as at time of purchase? CR-HD

Current Zoning: Redevelopment Plan, dated November 25, 2019
for Block 5000 Lot 1 and Block 5000.02 Lot 1

7. Current use of Property: Vacant / Railroad Spur

8. Proposed Use of Property:

5 story, 36 multi-family residential structure with first floor maintenance storage

CITY OF PASSAIC DEVELOPMENT APPLICATION

9. Is there any change in the occupancy or tenant involved with this application?

Yes No Not Applicable – Property is Vacant

10. Size of existing structure: Not Applicable – Vacant Property

Length: Width: Height: # of stories: Total sq. ft.

11. Existing structure Setbacks: Not Applicable – Vacant Property

Front: Rear: Side: Side:

Percentage of lot coverage %

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space % (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

12. Size of proposed structure:

Length: 179 ft 10 in Width: 54 ft 8 in.

Height: 54 ft. # of stories: 5 Total sq. ft. 47, 36 sq. ft

13. Proposed structure Setbacks:

Front: 7 ft Rear: 5 ft Side: 3 ft Side: 3 ft

Percentage of lot coverage 69.5%

(On a separate sheet, please present calculations for the determination of lot coverage and indicate this area on site plan.)

Percentage of open space 26.9% (On a separate sheet, please present calculations for the determination of open space and indicate this area on site plan.)

14. If variances are requested, cite any exceptional conditions preventing applicant from complying with requirements of the zoning ordinance.

Property in Flood Area. Parking cannot be located on Site. See Addendum to Application.

15. If a bulk variance (subsection C) is required, set forth in detail the reason why zoning relief should be granted under the Municipal Land Use law.

See Addendum to Application

16. If a use variance (subsection D) is required, set forth in detail the reasons. Not Applicable

(On a separate sheets, please set fourth the positive and negative criteria required to be presented for consideration so that the Board my properly weigh the merits of the application.)

CITY OF PASSAIC DEVELOPMENT APPLICATION

17. Are there any:

a. Deed restrictions on the property? Yes No

(If yes, please attach a copy of all such deed restrictions and associated survey if applicable.)

b. Easements involved with application? Yes No

(If yes, please attach a copy of all such easements and associated survey if applicable.)

c. Conditional contract sales agreement on property? Yes No

(If yes, please attach a copy of the contract.) - Applicant is the Property Owner. Application includes a subdivision. There is a Contract between the Applicant and the City of Passaic for the City to purchase approximately 2.455 acres of Block 5000 Lot 1, after the subdivision

d. Outstanding taxes on this property? Yes No

(If no, please attach certification of payment from the Tax Collector.)

18. Please complete Certification.

Fadi Samaan, being duly sworn, says that he/ she is the applicant or one of the applicants in the above action and that all information presented in this application and all supporting documents is true and accurate.

By: _____

Applicant's Signature

Fadi Samaan

Applicant's Printed/Typed Name

State of _____

County

Sworn to and subscribed before me

this _____ day of _____, _____

Notary Public My Commission expires _____

NOT APPLICABLE: If applicant is not the owner of the property on which the application is submitted for, owner must sign consent or applicant must provide this application with notarized letter of consent from said owner.

As owner of the property which is the subject of this application, I hereby authorize

_____ to make this application on my behalf and further depose and say that all of the above statements and statements made in documents submitted herewith are true to the best of my knowledge.

By: _____

Owner's Signature

ADDENDUM
TO CITY OF PASSAIC - DEVELOPMENT APPLICATION
Planning Board Application
Subdivision, Preliminary and Final Site Plan Approval, Parking Variance
Block 5000 Lot 1

Page 1 of 2

Existing Property:

Vacant Site with railroad tracks. Former New York and Greenwood Lake Railroad, which consists, in relevant part, the rail spur running from Wall Street in a northerly direction, to the City of Passaic – City of Garfield border. The entire rail spur is identified as Block 5000 Lot 1.

Proposed Subdivision: (Proposed Lot / Block Numbers Established by City's Tax Assessor)

The Applicant desires to subdivide this Block 5000 Lot 1 as follows:

- (i) the southern most portion bounded on the south by the northern side of Wall Street for an approximate distance to the north of 215 ft (western property line) and 197 ft (eastern property line), totaling approximately 13,222 sq. ft, which is designated as proposed Lot 26 in Block 1017 (post subdivision); and
- (ii) the northern most portion of Block 5000 Lot 1 from the City of Passaic – City of Garfield border to a certain Tidelands line to the south, being approximately 2.455 acres, which is designated as proposed Lot 2 in Block 100.03 and proposed Lot 21 in Block 1001.01 (post subdivision).

There exists a portion of Block 5000 Lot 1, located to the north of proposed Lot 26 in Block 1017, that the City of Passaic acquired via a Tidelands Grant from the State of New Jersey, many years prior. This Tidelands Lot is proposed to be designated as Lot 22 in Block 1001.01. Subsequent to the subdivision approval, the northern most portion of Block 5000 Lot 1 (i.e., approximately 2.455 acres) is intended to be sold by the Applicant to the City of Passaic. The City intends to develop these lots as part of its public park system. These proposed lots will be merged with the Tidelands Lot to create a singular, proposed Lot 26.01 in Block 1017.

Proposed Development: (proposed Lot 26 in Block 1017 (post subdivision))

5-story multi-family structure, which is proposed to have a total of 36 residential units (12 – 1-bedroom units and 24 – 2-bedroom units) to be located on the second through the fifth floor. The ground / first floor will contain a maintenance garage to house maintenance equipment for the subject Property, as well as a lobby for the residential units.

Applicable Zoning:

Block 5000 Lot 1 is subject to a Redevelopment Plan, dated November 25, 2019, which was adopted by the City Council as the Zoning Ordinance for this property pursuant to the Local Housing and Redevelopment Law, N.J.S.A. 40:12A-1 *et seq.*

ADDENDUM
TO CITY OF PASSAIC - DEVELOPMENT APPLICATION
Planning Board Application
Subdivision, Preliminary and Final Site Plan Approval, Parking Variance
Block 5000 Lot 1

Page 2 of 2

Variances Required:

1. Parking Variance - §317-25.C of the City's Zoning Code requires all parking spaces to be located on the same lot as the principal use. Pursuant to the said Redevelopment Plan, the proposed development requires 25 on-site parking spaces (0.6 spaces for 1-bedroom units and 0.75 spaces for 2-bedroom units). No on-site parking is being proposed and, thus, a parking variance is required.

However, the Applicant, by a separate land use development application, is seeking approval to develop Block 5000.02 Lot 1 (the former New York and Greenwood Lake Railroad yard (located on the corner of Passaic Street, Sixth Street and South Street) for mixed use, commercial and multi-family residential. The proposed development at Passaic Street, Sixth Street and South Street, will have excess on-site parking, which will be able to fully satisfy the parking requirement of the proposed development, which is the subject of this application.

Preliminary and Final Site Plan Approval Required

Subject to Final Rail Line Abandonment by Washington Surface Transportation Board

CITY OF PASSAIC DEVELOPMENT APPLICATION

SITE PLAN CHECKLIST § 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

** Site Plan Checklist must be sealed by a NJ licensed Architect **

Applicant’s Name: Passaic Street Properties, LLC

Project Address: Southern Portion of Block 5000 Lot 1

Date of Site Plan or Latest Revision: 3/30/2020 – Architectural (3 sheets) and Engineering Drwgs.

§ 317-31. Contents of proposed site plan. The proposed site plan shall contain the following:

A. There shall be a key map showing the location of the subject property with reference to surrounding areas and existing street intersections.

XX Complete Incomplete Not Applicable

B. The proposed site plan shall show, in scale, the property lines of the entire parcel of land for which site plan approval is sought and indicate the dimensions of said property.

XX Complete Incomplete Not Applicable

C. The proposed site plan shall include the name of the applicant, the date the proposed site plan was prepared, a North arrow, the scale to which the proposed site plan is drawn, the name and seal of the person who prepared the proposed site plan, the block and lot numbers of the lands for which the site plan approval is sought as shown on the most current tax assessment maps of the City of Passaic and the names of all streets abutting such lot and block. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

D. The proposed site plan shall include the names of all owners of adjacent property, together with block and lot numbers of such property.

XX Complete Incomplete Not Applicable

E. The site plan shall show the zoning district in which the parcel is located, together with zone boundaries within 100 feet there from.

XX Complete Incomplete Not Applicable

F. The location of all existing and proposed buildings and structures on the lands for which site plan approval is sought, together with the distances of said buildings and structures from the property lines of said lands and from each other.

XX Complete Incomplete Not Applicable

CITY OF PASSAIC DEVELOPMENT APPLICATION

H. A statement by the owner of whether any property adjoining the lands for which site plan approval is sought or is not owned by said owner. NO ADJOINING LAND IS OWNED BY APPLICANT

XX Complete Incomplete Not Applicable

I. The location and dimensions of all existing and proposed driveways, curb cuts, private access roads, curbing, parking areas, parking stalls, loading areas and loading bays and the location of all existing driveways within 200 feet of the lot.

XX Complete Incomplete Not Applicable

J. The proposed landscaping, screening and exterior lighting, including the location, number, size and type of existing landscaping and trees to remain; the location, number, size and type of trees, shrubs and landscaping to be installed; and the location, type, height, intensity and illumination area of any lighting to be installed.

XX Complete Incomplete Not Applicable Waived

K. Arrows, which indicate the direction of traffic on all driveways, interior drives and parking areas.

XX Complete Incomplete Not Applicable

L. The location of any existing and proposed railroad sidings, streams, drainage rights-of-way, water or other utility rights-of-way or easements.

Complete Incomplete XX Not Applicable Waived

M. Existing and proposed drainage facilities and drainage calculations.

XX Complete Incomplete Not Applicable Waived

N. Existing and proposed contour lines at two-foot intervals or a sufficient number of spot elevations. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

O. The proposed use or uses of land and buildings, together with floor space of all buildings. If the precise use of the building is unknown at the time of application, an amended plan showing the proposed use shall be required prior to issuance of a certificate of occupancy.

XX Complete Incomplete Not Applicable

P. The site plan shall show the location and design of any off-street parking areas or loading areas, showing size and location of bays, aisles and barriers. Parking stalls shall be numbered for identification. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable Waived

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Q. The site plan shall show the location and type of garbage and refuse disposal facilities, including maneuvering areas.

XX Complete Incomplete Not Applicable Waived

R. Where applicable, the site plan shall show the location and treatment of open space.

XX Complete Incomplete Not Applicable Waived

S. Front, rear and side building elevations drawn to scale. [Amended 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

T. Where applicable, the following information shall be provided: (1) The number of employees. (2) A narrative describing nature of operation or activities to occur on the site. (3) A narrative describing trucking on the site; number and size of trucks used in the applicant's operation; number, size and frequency of trucks making deliveries; and time of loading and unloading operations.

XX Complete Incomplete Not Applicable Waived

Residential Building. First Floor is Maintenance Garage to support maintenance for building and secondary development at Sixth Street. (2-3 maintenance employees)

U. The existing and proposed sanitary sewerage. [Added 9-17-1987 by Ord. No. 990-87EN]

XX Complete Incomplete Not Applicable Waived

V. The location of fire hydrants within 200 feet of site. [Added 9-17-1987 by Ord. No. 990-87]

Complete XX Incomplete Not Applicable Waived

W. A place for the signatures of the Chairman and Secretary of the reviewing board. [Added 9-17-1987 by Ord. No. 990-87]

XX Complete Incomplete Not Applicable

X. The location of storage space for recyclables. [Added 7-7-1988 by Ord. No. 1026-88EN] (1) In residential uses, including mixed uses, the plan should show both the area within the dwelling units and the central collection area. (2) In commercial or industrial uses, in addition to showing the actual location on the site plan, the applicant must submit documentation of recyclables to be generated and the calculations which determined the floor area required.

XX Complete Incomplete Not Applicable Waived

Y. Such other data or information that reasonably may be necessary for the Planning Board to meet the objectives of site plan approval in acting on a particular application.

XX Complete Incomplete Not Applicable

Z. The proposed site plan shall include a zoning table comparing the ordinance requirements to the proposal. XX Complete Incomplete Not Applicable Waived